



311 Walnut Street | P.O. Box 487  
Marathon City, WI 54448  
Tel: 715-443-2221  
www.marathoncitywi.gov

**PLAN COMMISSION**  
**OFFICIAL NOTICE & AGENDA**  
Wednesday, May 27, 2026  
2:30 pm – Marathon Municipal Center

**1. CALL TO ORDER**

ROLL CALL: K. HANDRICK, M. AHRENS, M. TELFORD, C. STIEBER, S. CHEREK, L. OLBRANTZ, L. WIESMAN

**2. PLEDGE OF ALLEGIANCE**

**3. RECOGNITION OF VISITORS**

- a. Virtual Meeting Guidelines  
This meeting will be recorded and available upon request
- b. Public Participation at Government Meetings

**4. APPROVAL OF MAY 20, 2026 PLAN COMMISSION MEETING MINUTES**

**5. NEW BUSINESS**

- a. Review and Possible Action on Alternate Site Layout for Stittleburg Restorative Health Care
- b. Review and Possible Action on Draft Conditional Use Permit for Alex & Dana Blume, dba. The Blume Barn

**6. FUTURE MEETINGS**

- a. Tuesday, June 23, 2026 – 4:00 pm

**7. ADJOURNMENT**



**PUBLIC VIRTUAL ACCESS**

Join Teams Meeting: <https://www.microsoft.com/en-us/microsoft-teams/join-a-meeting>

Meeting ID: 270 769 565 499 647

Passcode: Zg6Qk9pZ

*Kurt Handrick, Jr.*

Village President

*Cassie Lang*

Village Clerk / Deputy Treasurer



# PLAN COMMISSION/PUBLIC HEARINGS

## MINUTES

Wednesday, May 20, 2026

### 1. PUBLIC HEARING #1 – Opened at 4:01 pm

- a. The Conditional Use Permit Application submitted by Alex & Dana Blume, dba. The Blume Barn Public Hearing #1 was opened to discuss a Conditional Use Permit Application submitted by Alex and Dana Blume for their event barn/reception hall. At the May 6, 2026 Plan Commission meeting, the Commission approved the C-1, General Commercial, zone for the parcel referred to in the CUP application. In order to operate business as a Private Club/Reception Hall, The Blume Barn would need a Conditional Use Permit according to the Village's Zoning Code. No public comments were made.

### 2. PUBLIC HEARING #2 – Opened at 4:09 pm

- a. The Conditional Use Permit Application submitted by Stittsburg Restorative Health Care Public Hearing #2 was opened to discuss a Conditional Use Permit Application for Stittsburg Restorative Health Care. The east side of the proposed building plan in the Development Agreement will be run as a farm to table market under the name Whole Roots & Co. Under the Village zoning code, a Food Products Retail/Grocery store in the Downtown Commercial (C-2) zone would require a Conditional Use Permit for operation. No public comments were made.

### 3. PUBLIC HEARING #3 – Opened at 4:15 pm

- a. Changes in Zoning Classification Request from Agriculture – (A) to Rural Residential (R-4) Submitted by Steven & Caleb Seubert for Parcels 151-2806-082-0972 & 151-2806-082-0971 Public Hearing #3 was opened to discuss a rezoning request for the 2 parcels listed above from Agricultural (A) to Rural Residential (R-4). Administrator Cherek received a CSM (to be approved by the Village Board) to change the lot line direction of the 2 lots. In reviewing the CSM he noted that the current lots violate the Village Code of Ordinances for Agricultural lots. Neither lot meets the size requirement of 6 acres. No public comments were made on the subject.

### 4. CALL TO ORDER at 4:33 pm

ROLL CALL: K. HANDRICK-Present, M. AHRENS-Present, M. TELFORD-Present, C. STIEBER-Present, S. CHEREK-Present, L. OLBRANTZ-Present, L. WIESMAN-Present

### 5. PLEDGE OF ALLEGIANCE

### 6. RECOGNITION OF VISITORS

- a. Virtual Meeting Guidelines  
This meeting will be recorded and available upon request
- b. Public Participation at Government Meetings  
In Person Attendance: Eric Sonnleitner – North Central Wisconsin Regional Planning Commission

### 7. APPROVAL OF MAY 6, 2026 PLAN COMMISSION MEETING MINUTES

#### MOTION – Approve May 6, 2026 Plan Commission Meeting Minutes

Motion made by Stieber second by Telford. Motion passed by voice vote.

### 8. NEW BUSINESS

- a. Review and Possible Action of Conditional Use Permit Application Submitted by Alex & Dana Blume, dba. The Blume Barn  
As stated in Public Hearing #1, The Blume Barn requires a Conditional Use Permit in order to operate their Private Club/Reception Hall in the C-1 General Commercial Zone. Attorney Vanderwaal and Administrator Cherek drafted a CUP for review by the Commission. Cherek shared the draft permit with the Commission and discussed additional conditions that could be considered for the permit. Possible conditions to add included; no parking on County Road B, campers could be utilized but must be removed from property within 24 hours after event, lighting to not be directed at (a distraction to) County Road B or surrounding neighbors, number of bathrooms must be suitable for capacity of event, outdoor music matching with ordinance in regards to noise. CUP would not be transferrable if property were to sell in the future. After

discussion, the Commission agreed to table a motion to a later meeting date after additions are made to the draft CUP.

- b. Review and Possible Action of Conditional Use Permit for Stittleburg Restorative Health Care  
Public Hearing #2 explained that a Conditional Use Permit is required for Stittleburg Restorative Health Care to run a farm to table market called Whole Roots & Co. Cherek presented the draft CUP along with an alternate site layout provided by SRHC adding parking off of 3<sup>rd</sup> St on the north side of the building. Cherek explained the alternate site layout came to him within the past month. The Commission members questioned the new site layout and after discussion, decided to bring the development team to another meeting to present alternate site layout. The draft CUP presented incorporates phrasing to include the alternate site layout. Commission members saw no other issues with draft CUP.

**MOTION – Approve Forwarding Draft Conditional Use Permit to the Village Board for Final Approval with Removal of Alternate Site Plan Wording**

Motion made by Ahrens second by Olbrantz. Motion passed by voice vote.

- c. Review and Possible Action on Rezoning of Parcels 151-2806-082-0971 and 151-2806-082-0972, owned by Steven and Caleb Seubert, from Agricultural (A) to Rural Residential (R-4)  
As presented in Public Hearing #3, Cherek received a CSM to change lot sizes and lines of the Parcels noted above. Before he can take the CSM to the Village Board, Cherek explained how the current parcels do not meet the required acreage outlined in the Village Zoning Code. He received a zoning change request letter from Steven Seubert to change from Agricultural (A) to Rural Residential (R-4). Plan Commission approval is required to make such a change.

**MOTION – Approve Rezoning of Parcels 151-2806-082-0971 & 151-2806-082-0972 from Agricultural (A) to Rural Residential (R-4)**

Motion made by Stieber second by Telford. Motion passed by voice vote.

## **9. REVIEW OF DRAFT COMPREHENSIVE PLAN CHAPTERS**

- a. Chapter 4 – Transportation
- b. Chapter 5 – Utilities & Community Facilities
- c. Chapter 6 – Economic Development
- d. Chapter 7 – Land Use

The Commission reviewed and discussed Chapters 4-7 of the draft plan. They made minor changes in wording to the draft. All draft chapters are available for public review at the Village Hall and on the Village Website at <https://www.marathoncitywi.gov/communications/comprehensive-planning/>.

## **10. SET NEXT MEETING DATE AND TIME**

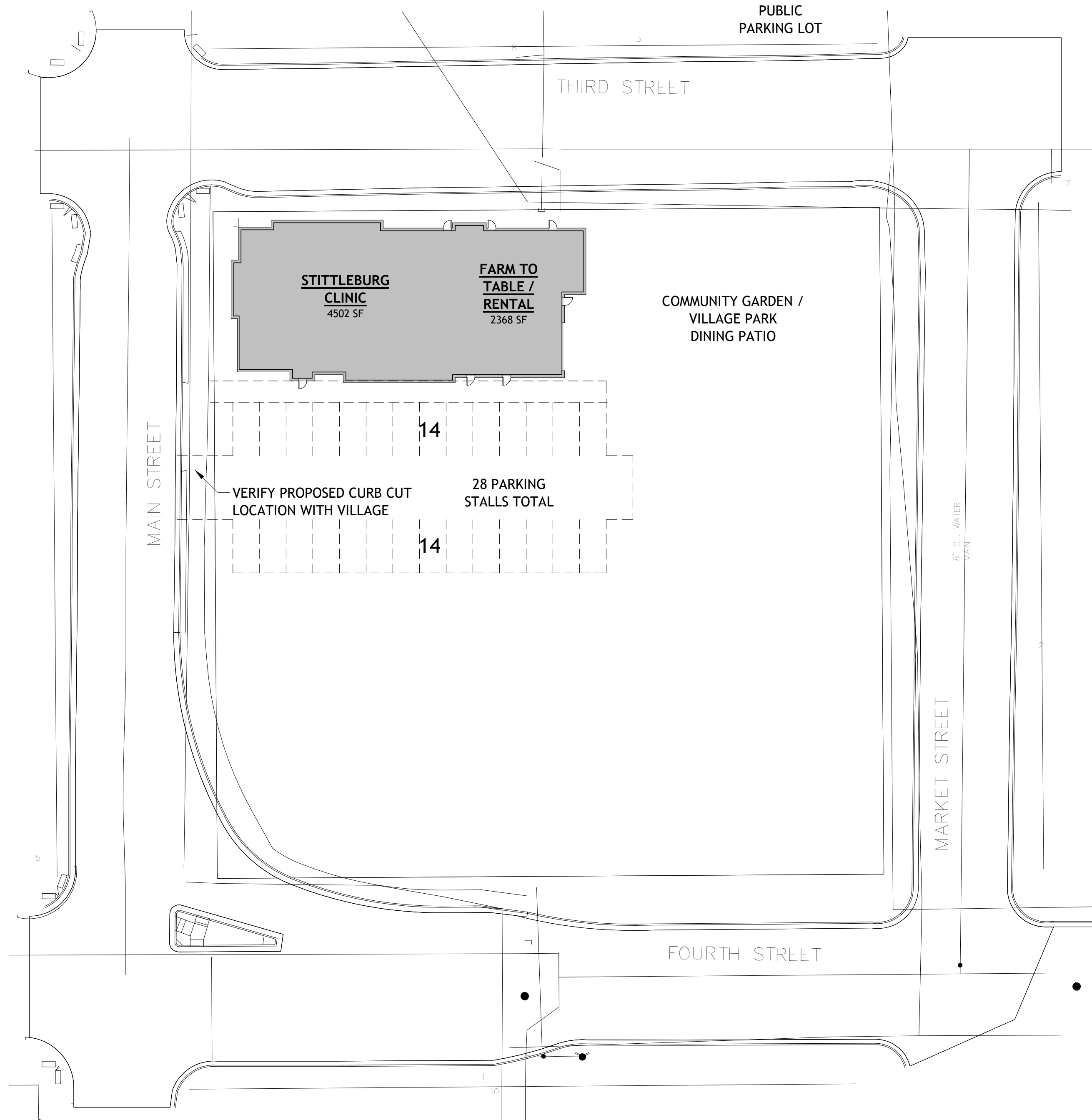
Next Plan Commission Meeting to continue Comprehensive Plan Update set for Tuesday, June 23, 2026 at 4:00 pm.

## **11. ADJOURNMENT at 7:06 pm**

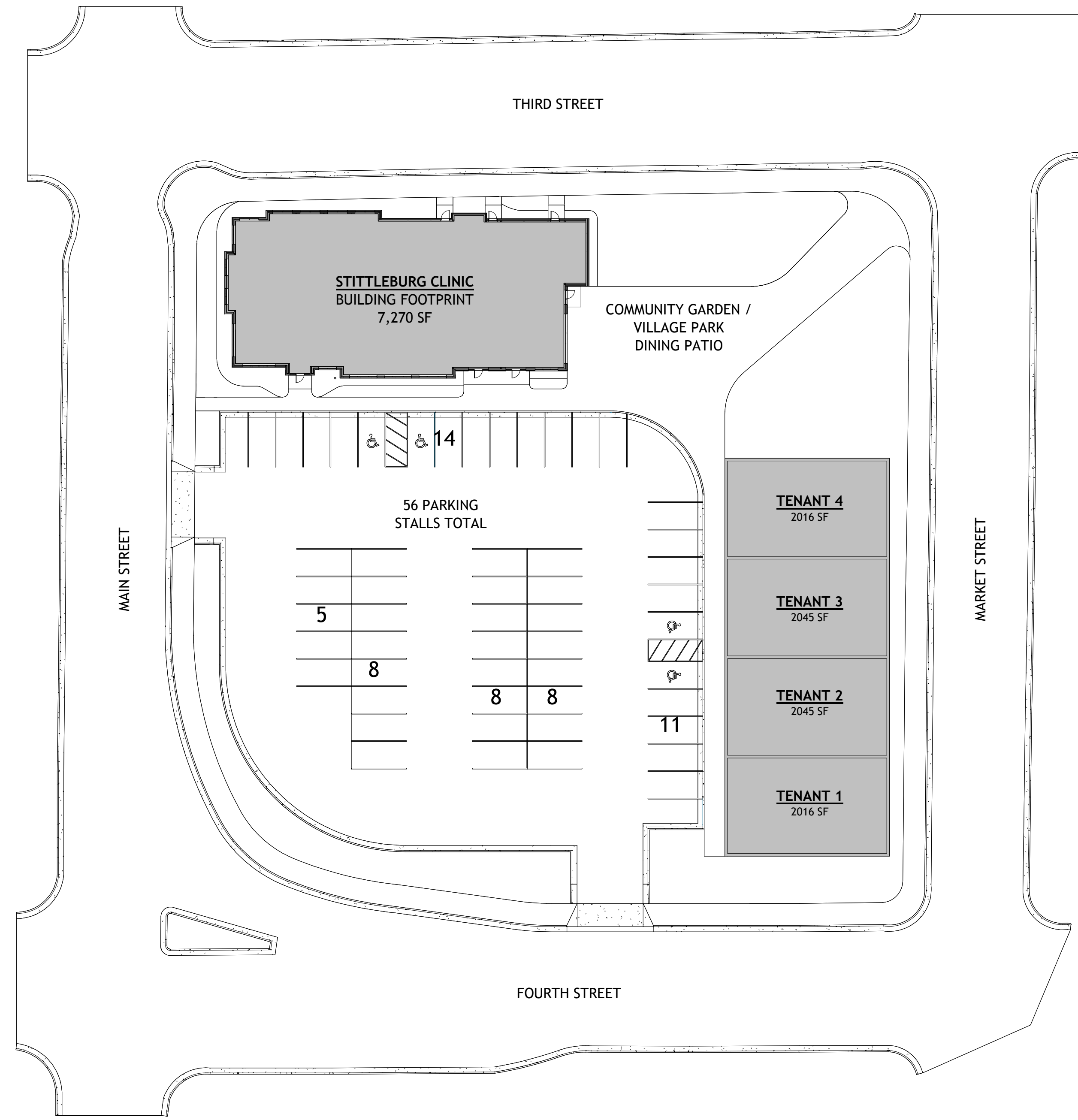
Motion to adjourn made by Stieber second by Telford. Motion passed by voice vote.

*Cassie Lang*  
Village Clerk / Deputy Treasurer

# STITTLEBURG CLINIC SCHEMATIC DESIGN BID DOCUMENTS




2 **SITE PLAN - PHASE 1 - CORNER**  
 AS100 1" = 30'-0"

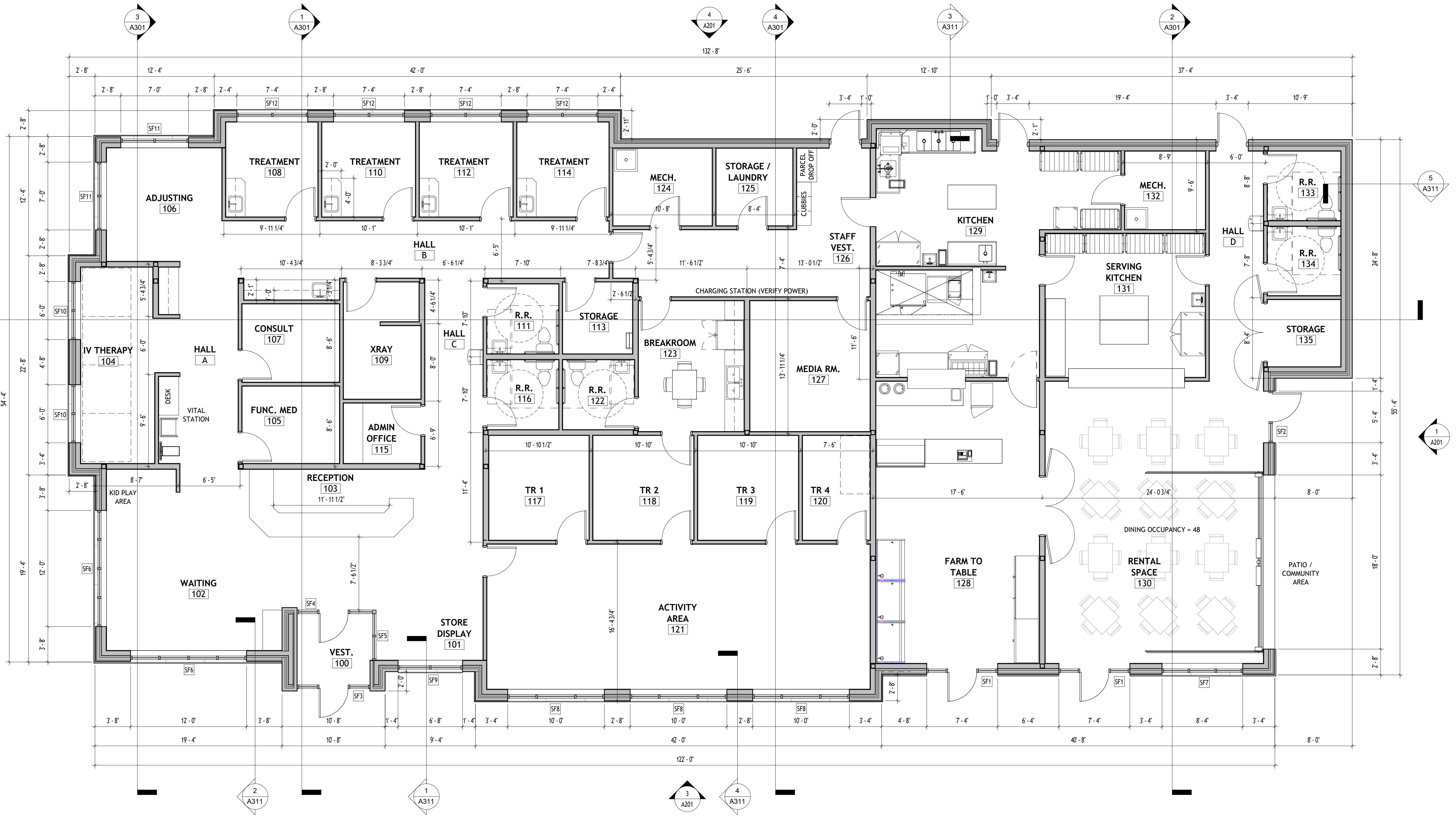



1 **SITE PLAN - PHASE 2 - CORNER**  
 AS100 1" = 30'-0"

4/11/2025 11:48:47 PM A:\OneDrive - BCA\02 - Projects\25-009 Stittleburg Restorative Health Care\04 - Revit\25-009 Stittleburg\_SD.rvt

MARK	DATE	DESCRIPTION

DRAWN BY: BC  
 JOB NO: 25-009  
 DATE: 04.03.25

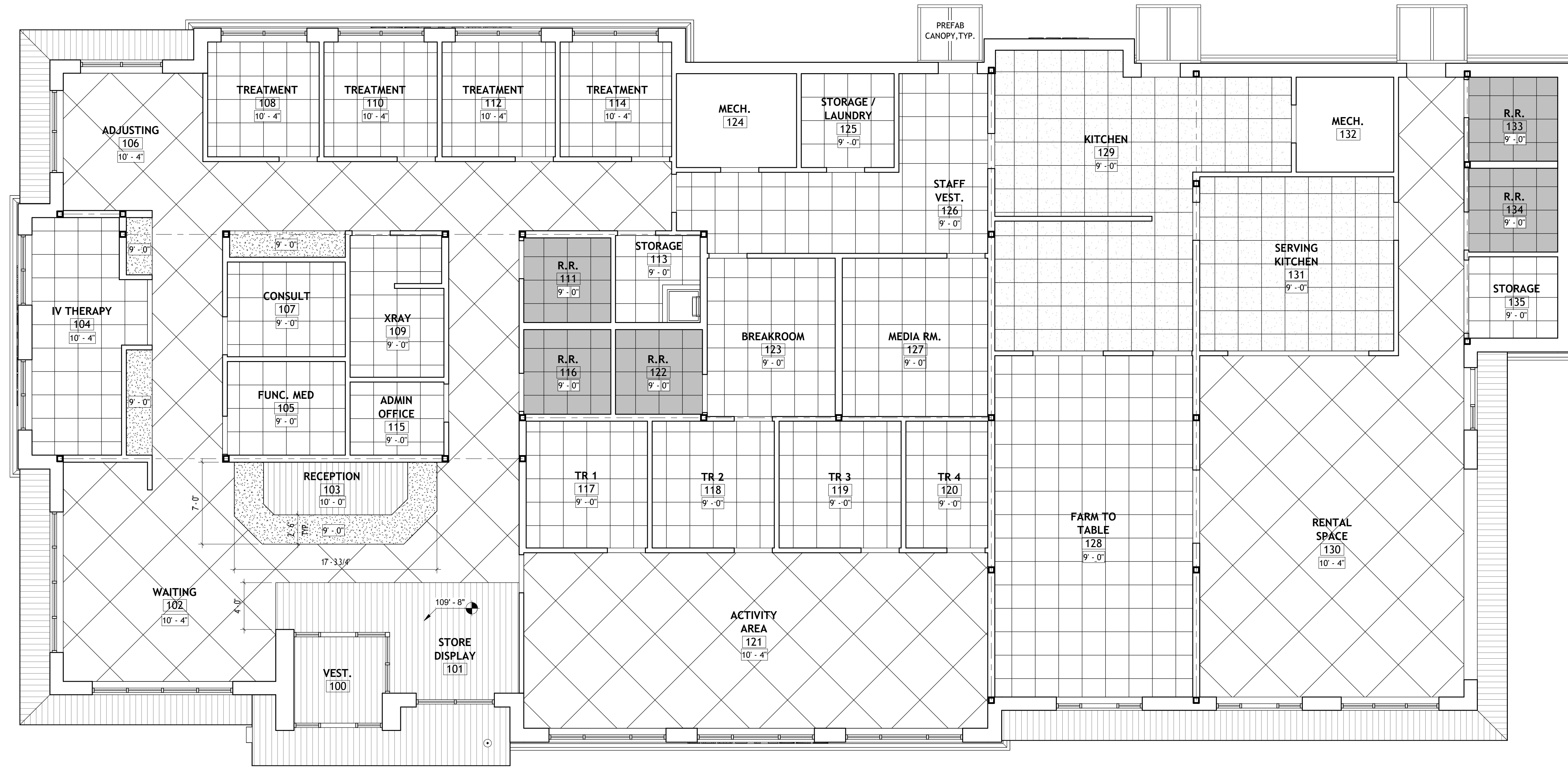


1 MAIN LEVEL - FLOOR PLAN  
 3/16" = 1'-0"

MARK	DATE	DESCRIPTION

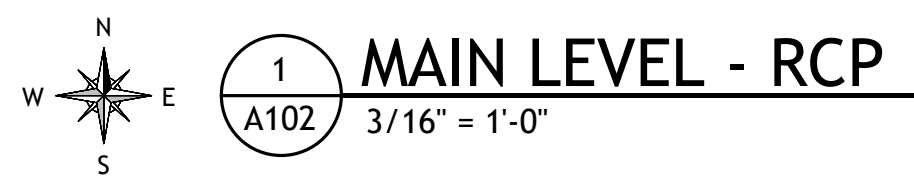
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 JOB NO: 25-009  
 DATE: 04.03.25

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**LEGEND**

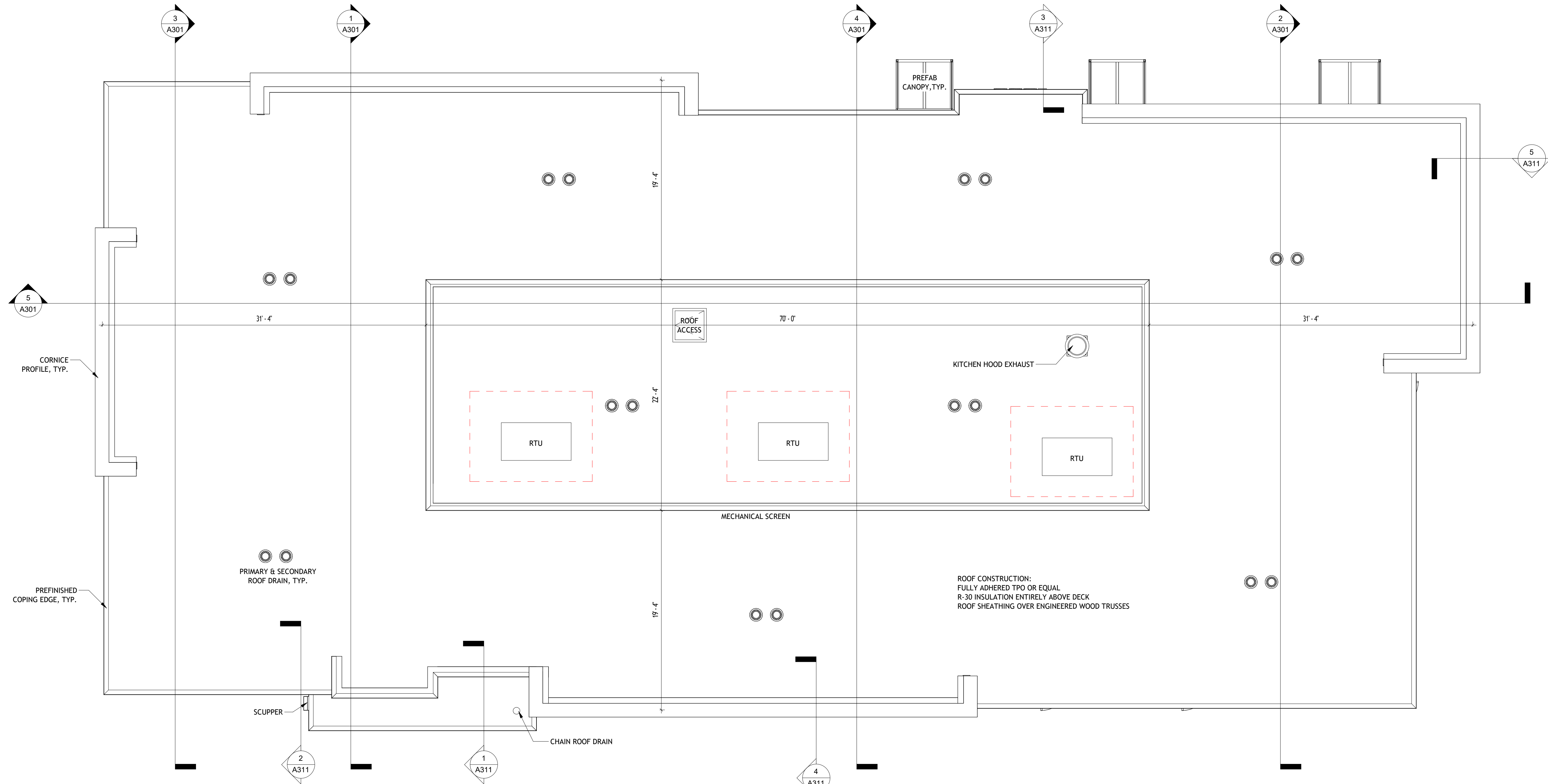
	2X2 ACOUSTICAL CEILING TILE MANUFACTURE - TBD MODEL - TBD		2X2 ACOUSTICAL CEILING TILE VINYL ROCK - KITCHEN MANUFACTURE - TBD MODEL - TBD		METAL SOFFIT PANELS MANUFACTURE - TBD COLOR - TBD
	2X2 ACOUSTICAL CEILING TILE MOISTURE RESISTANT MANUFACTURE - TBD MODEL - TBD		4X4 ACOUSTICAL CEILING TILE MANUFACTURE - TBD MODEL - TBD		



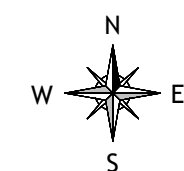
MARK	DATE	DESCRIPTION

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DATE: 04.03.25  
MAIN LEVEL REFLECTED  
CEILING PLAN

4/11/2025 11:48:48 PM A:\OneDrive - BCA\02 - Projects\25-009 Stittsburg Restorative Health Care\04 - Revit\25-009 Stittsburg\_SD.rvt



ROOF CONSTRUCTION:  
 FULLY ADHERED TPO OR EQUAL  
 R-30 INSULATION ENTIRELY ABOVE DECK  
 ROOF SHEATHING OVER ENGINEERED WOOD TRUSSES



1  
 A103  
**ROOF PLAN**  
 3/16" = 1'-0"

MARK	DATE	DESCRIPTION

DRAWN BY: BC  
 JOB NO: 25-009  
 DATE: 04.03.25

ROOF PLAN

**A103**

4/11/2025 11:48:49 PM A:\OneDrive - BCA\02 - Projects\25-009 Stittsburg Restorative Health Care\04 - Revit\25-009 Stittsburg\_SD.rvt



DR. TARYN STITTLEBURG  
STITTLEBURG CLINIC  
400 MAIN STREET, MARATHON CITY, WI 54448

MARK	DATE	DESCRIPTION

DRAWN BY: BC  
JOB NO: 25-009  
DATE: 04.03.25

EXTERIOR 3D VIEW

A200

SD - BID SET

4/11/2025 11:48:52 AM A:\OneDrive - BCA\02 - Projects\25-009 Stittsburg Restorative Health Care\04 - Revit\25-009 Stittsburg\_SD.rvt



- KEYNOTES**
- 1 MASONRY FACE BRICK - COLOR TBD
  - 2 CAST STONE BASE 16"x16"
  - 3 CAST STONE SILL 8"
  - 4 8" LP SMARTSIDE - COLOR TBD
  - 5 12" METAL PANEL FASCIA - COLOR TBD
  - 6 CAST STONE SILL 4"
  - 7 CORNICE PROFILE - COLOR TBD
  - 8 PREFINISHED METAL COPING - COLOR TBD
  - 9 PREFABRICATED ENTRY CANOPY
  - 10 PREFINISHED METAL PANEL SIDING - COLOR TBD
  - 11 ROOFING MEMBRANE UP & OVER WALL
  - 12 MASONRY FULL BED STONE - COLOR TBD
  - 13 PROPOSED SIGNAGE LOCATION
  - 14 SOLDIER BRICK HEADER

**DR. TARYN STITTLBURG**  
**STITTLBURG CLINIC**  
400 MAIN STREET, MARATHON CITY, WI 54448

MARK	DATE	DESCRIPTION

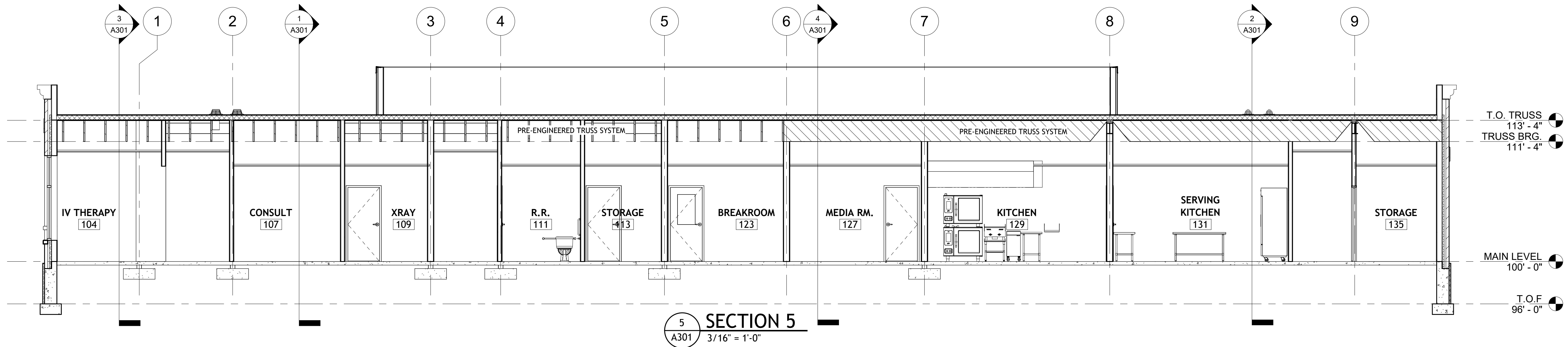
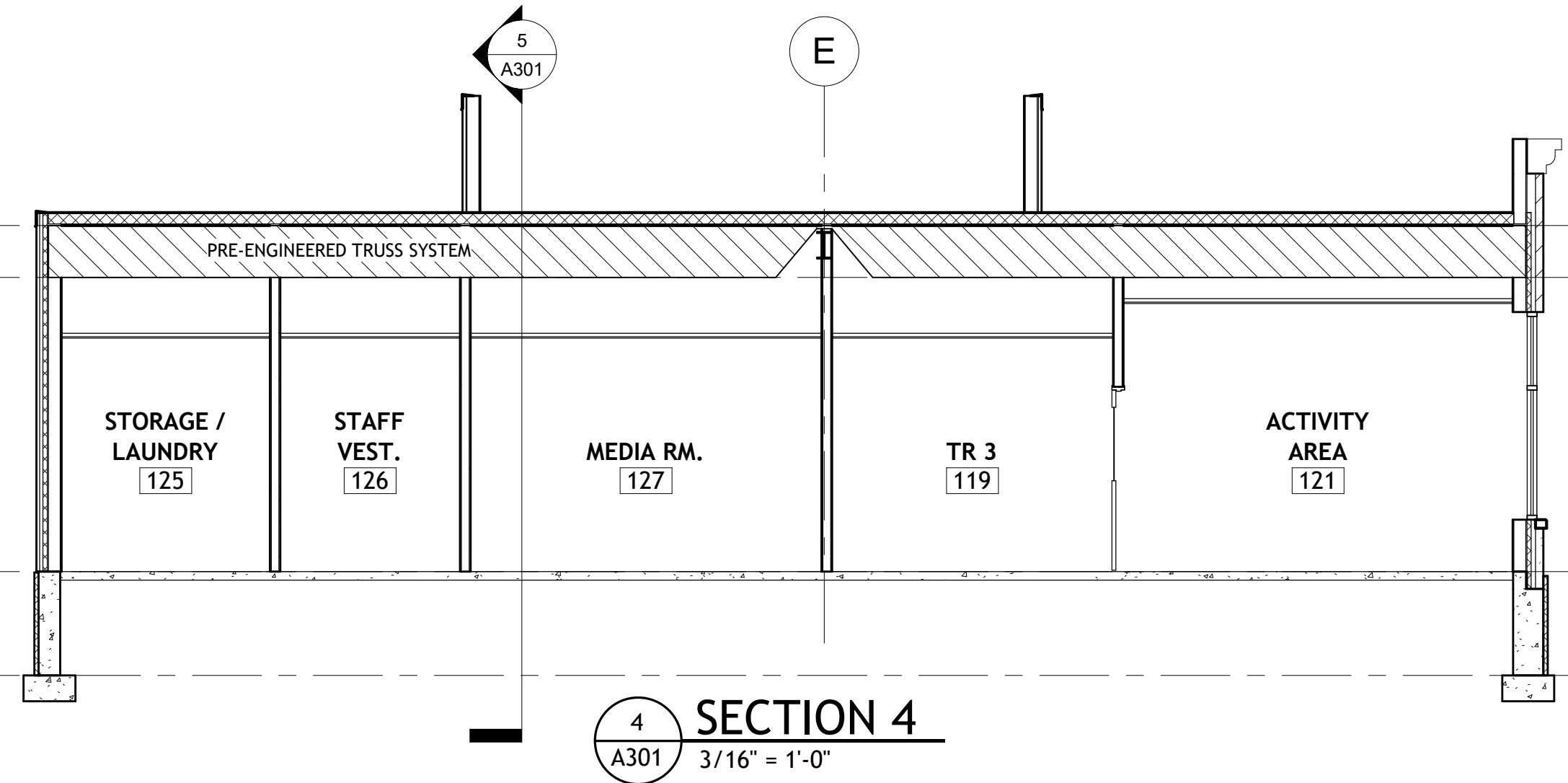
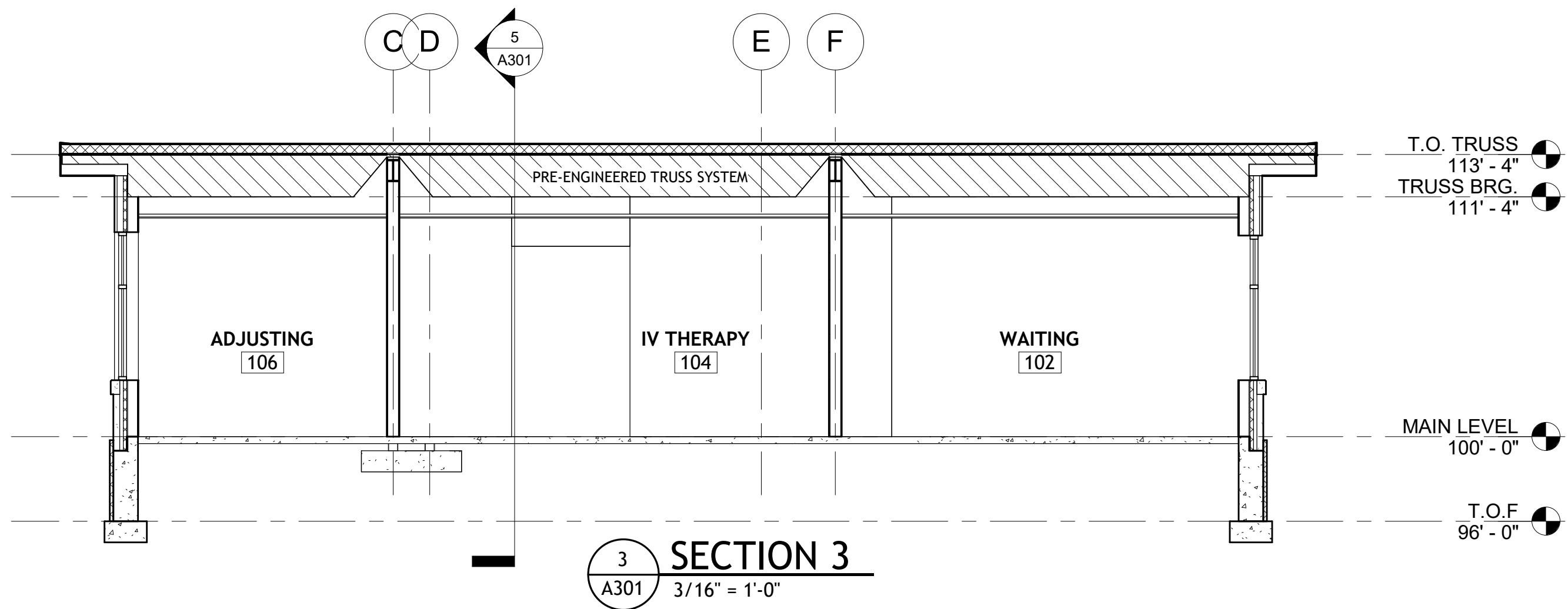
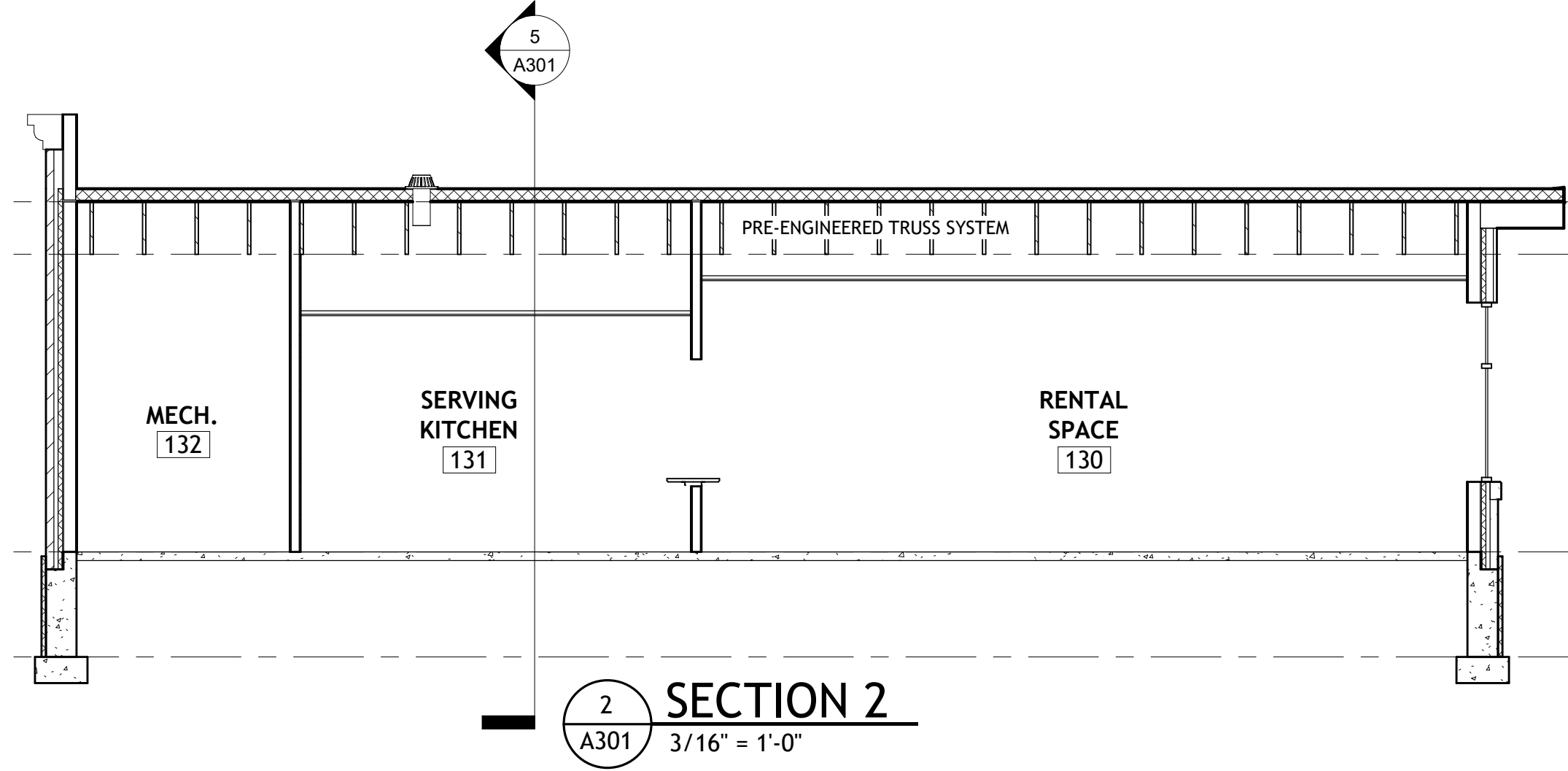
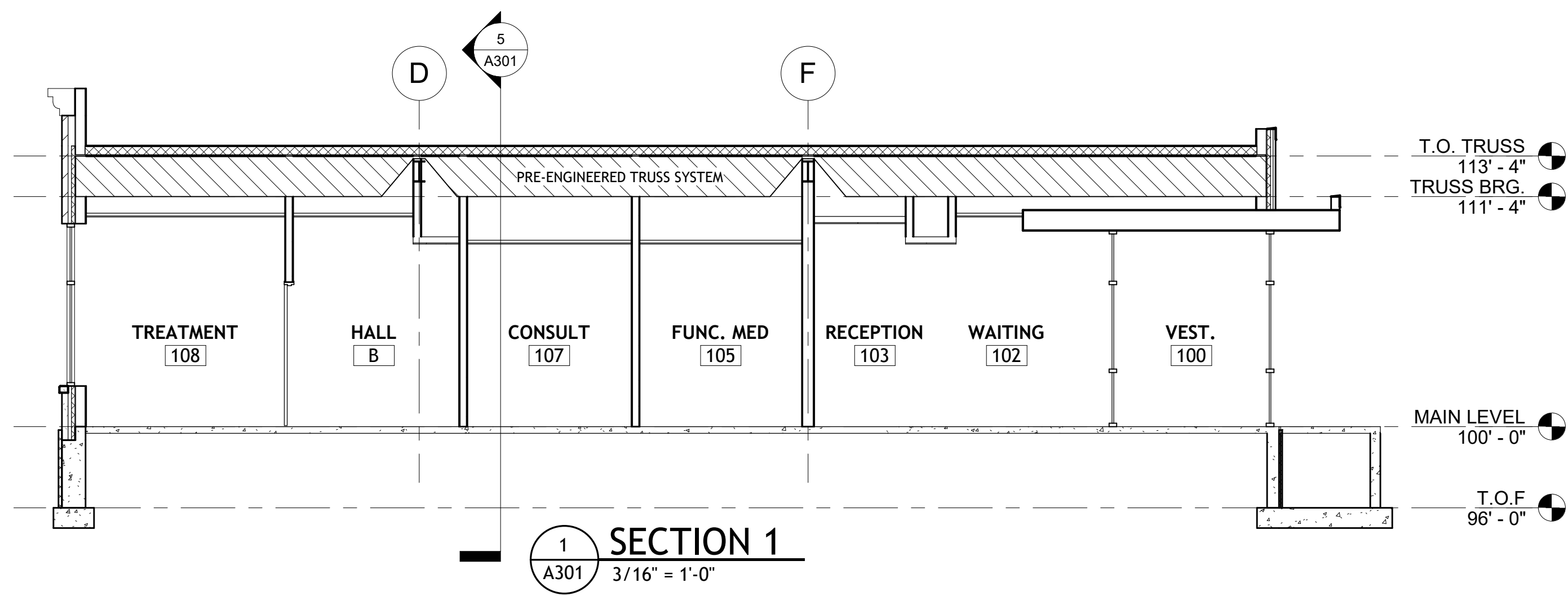
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JOB NO: 25-009  
DATE: 04.03.25

ELEVATIONS

**A201**

SD - BID SET

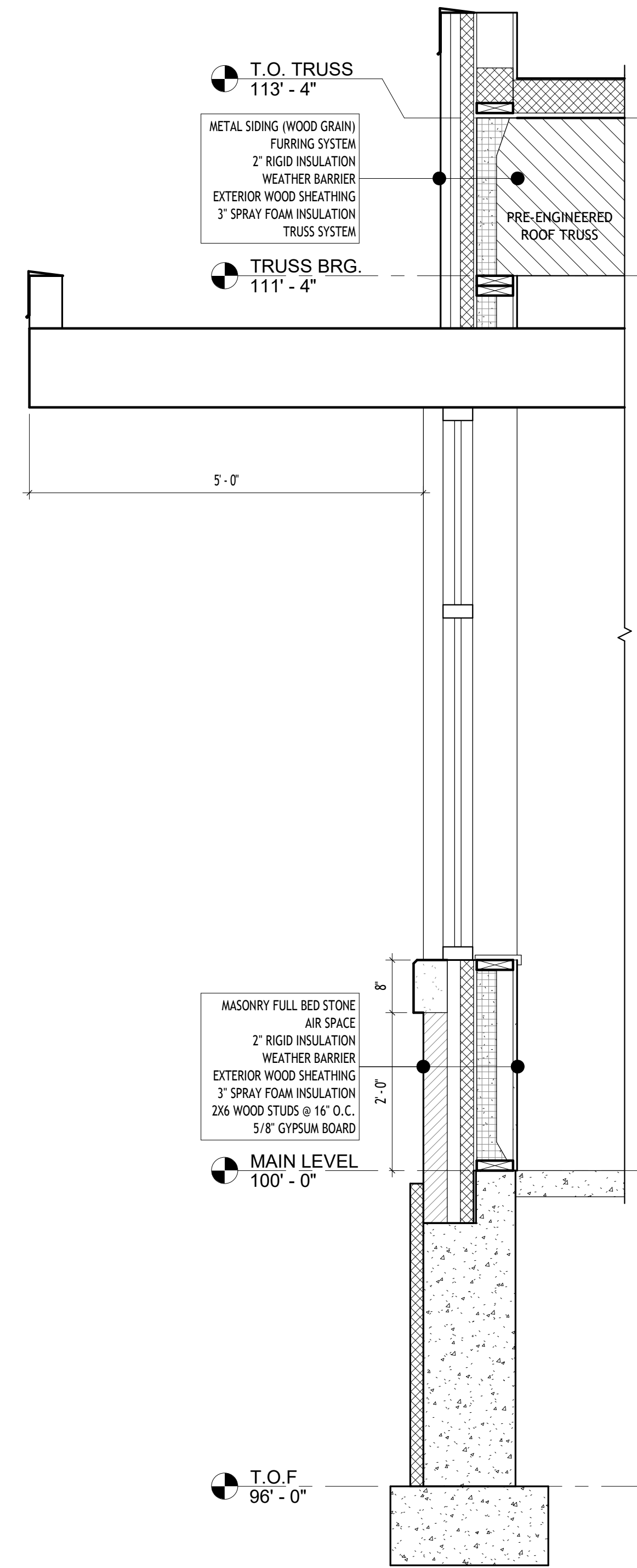
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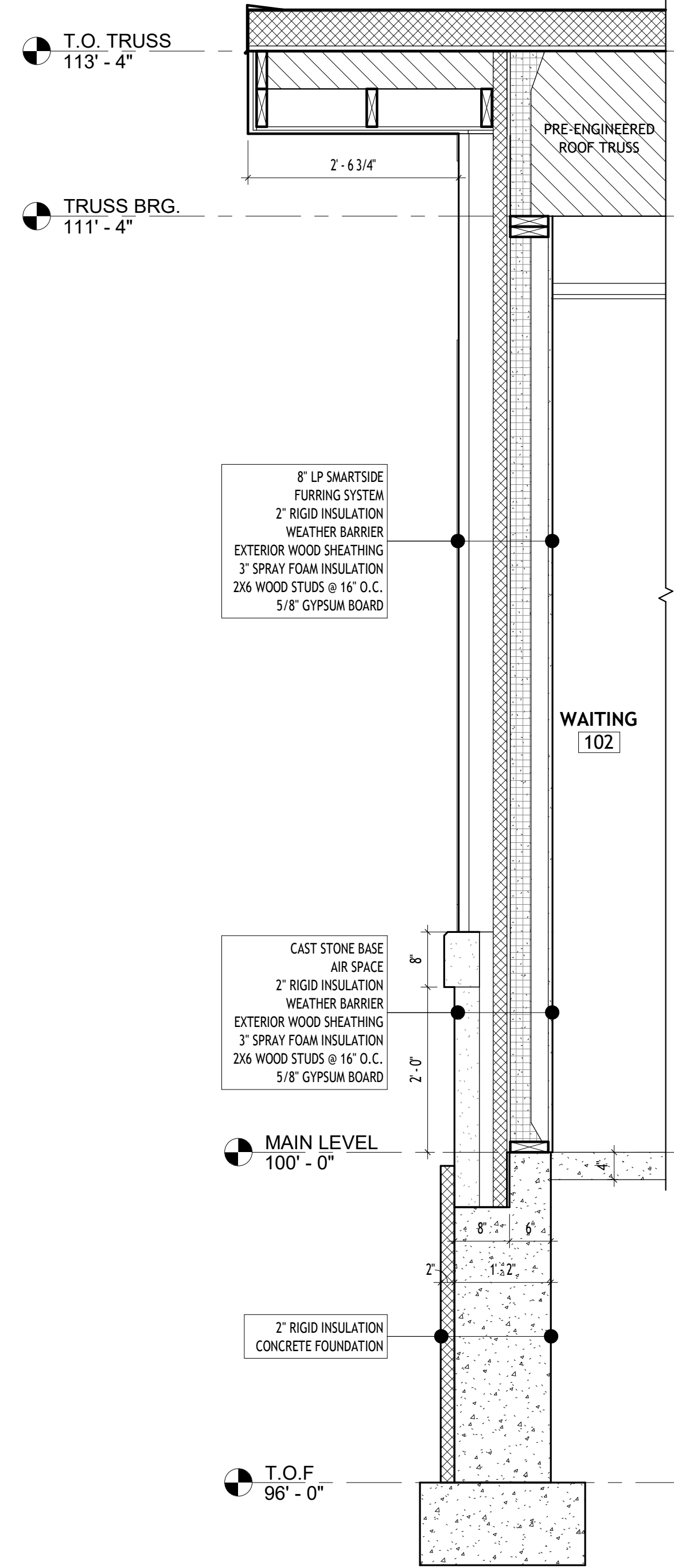
MARK	DATE	DESCRIPTION

DRAWN BY: BC  
JOB NO: 25-009  
DATE: 04.03.25

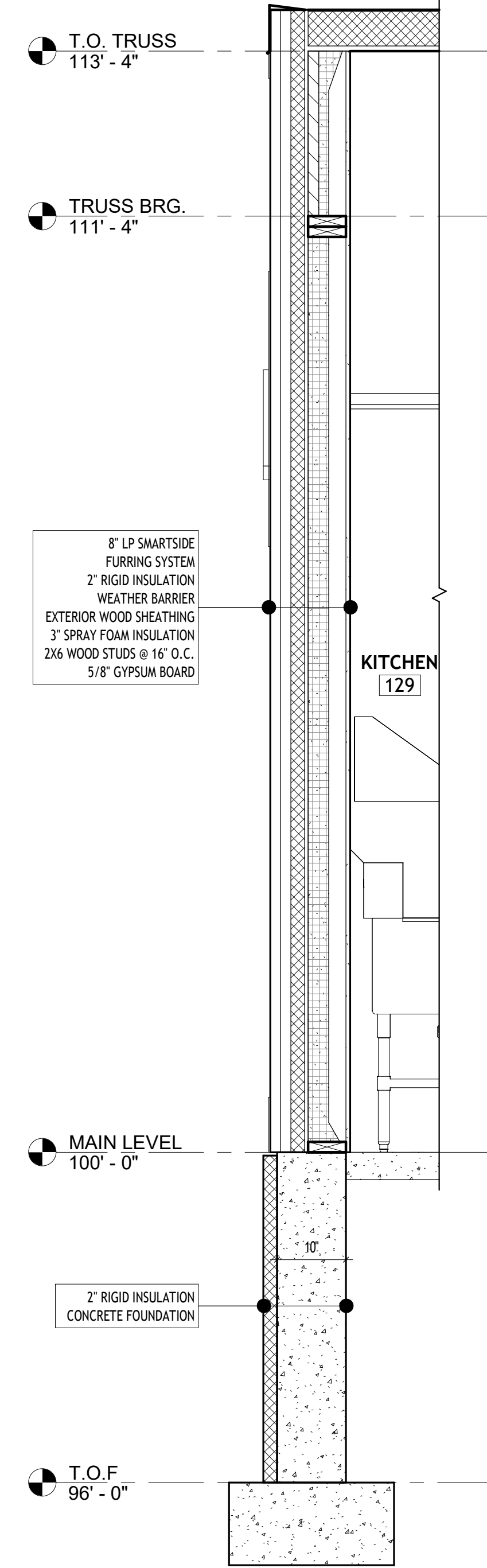
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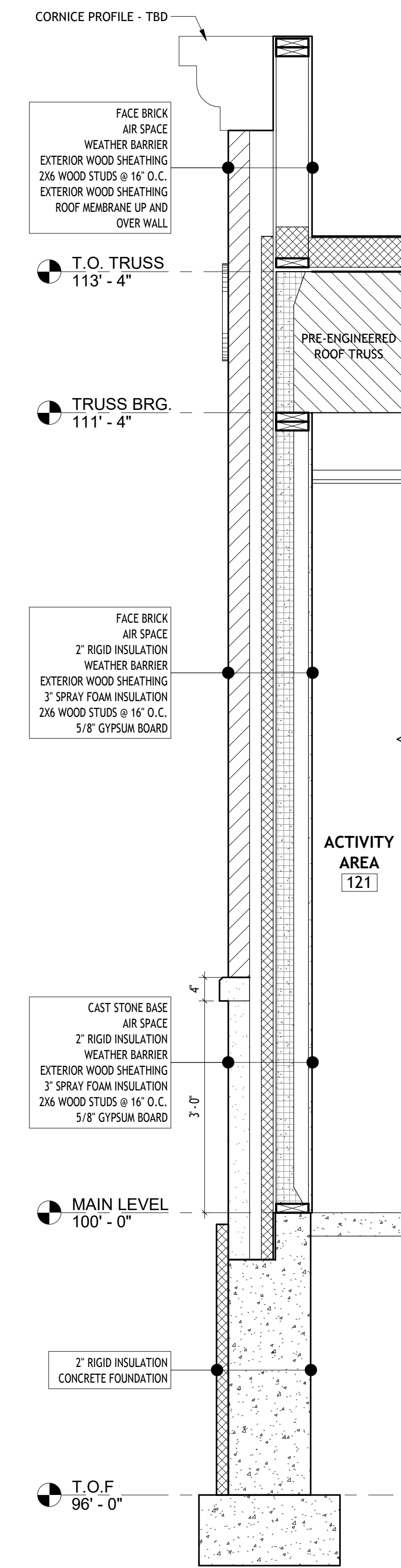
1 WALL SECTION  
A311 3/4" = 1'-0"



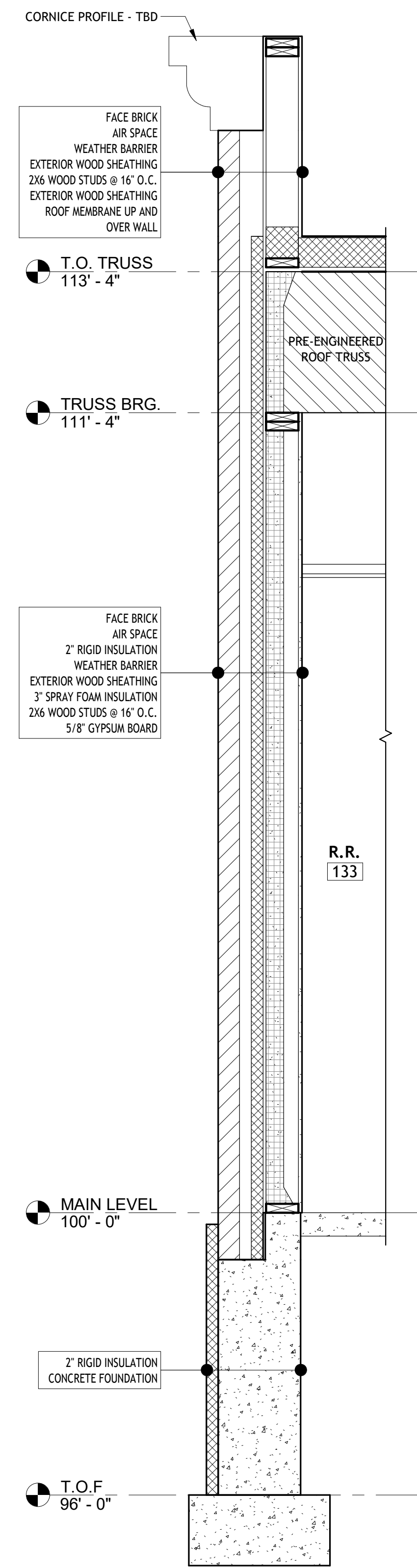
2 WALL SECTION  
A311 3/4" = 1'-0"



3 WALL SECTION  
A311 3/4" = 1'-0"



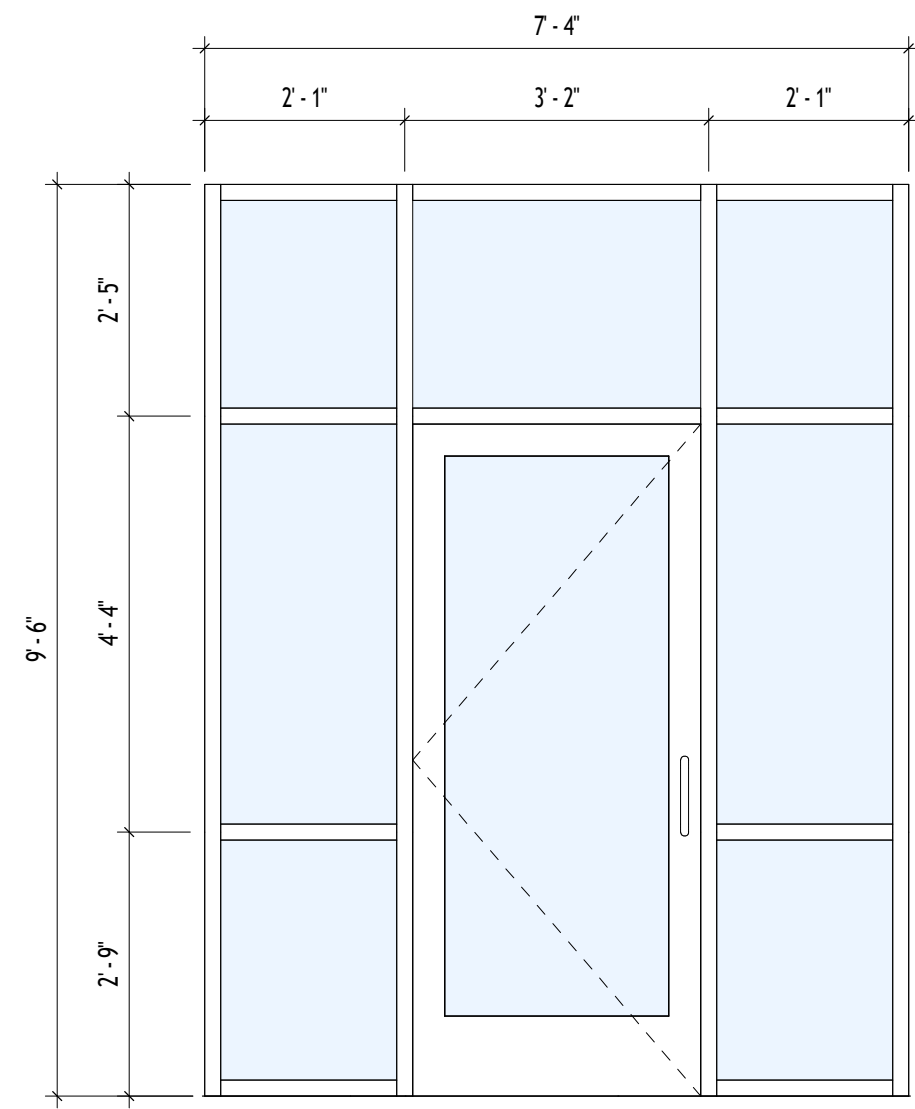
4 WALL SECTION  
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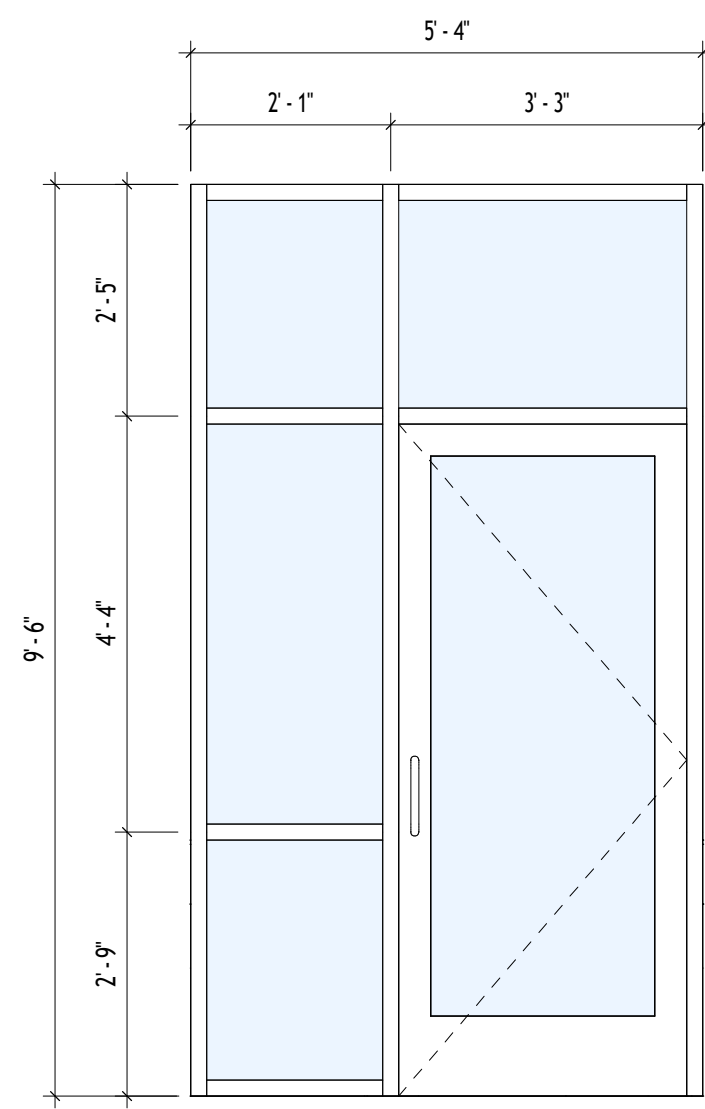
5 WALL SECTION  
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MARK	DATE	DESCRIPTION

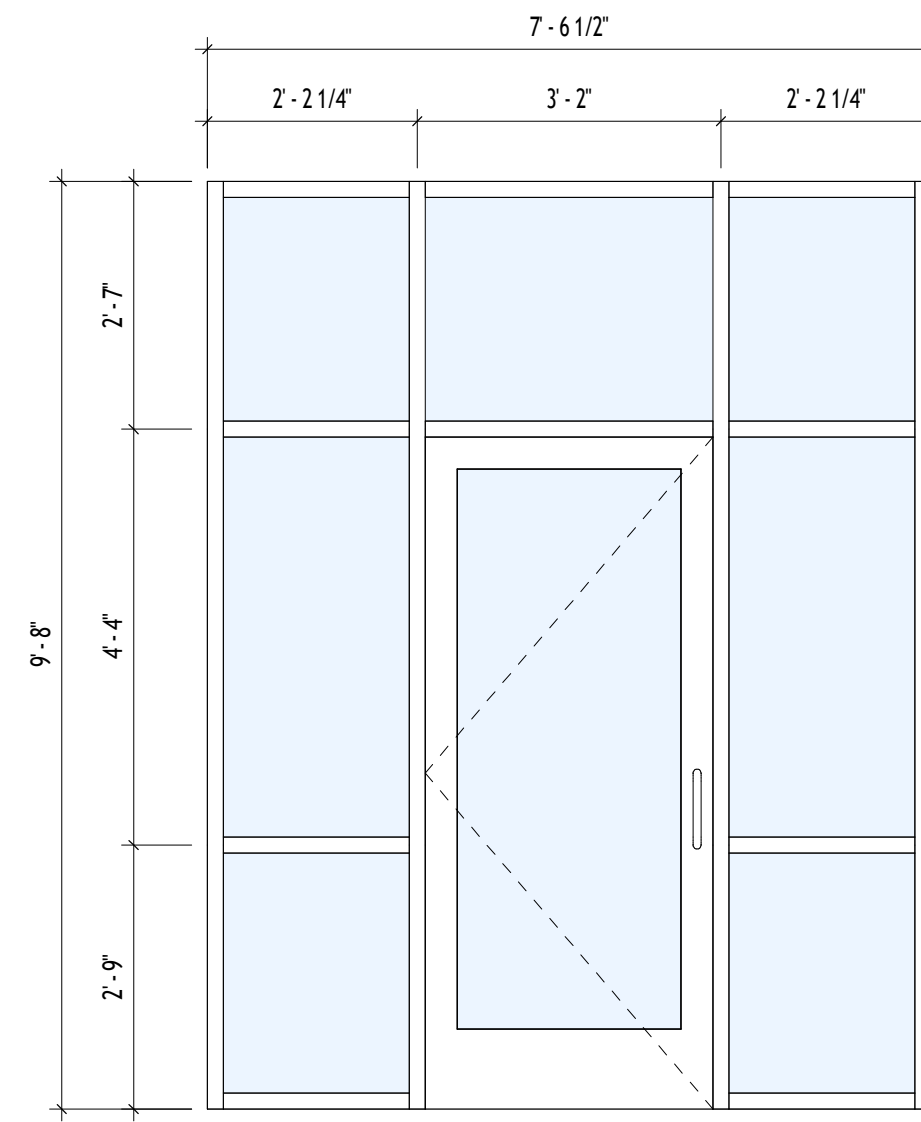
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JOB NO: 25-009  
DATE: 04.03.25  
WALL SECTIONS



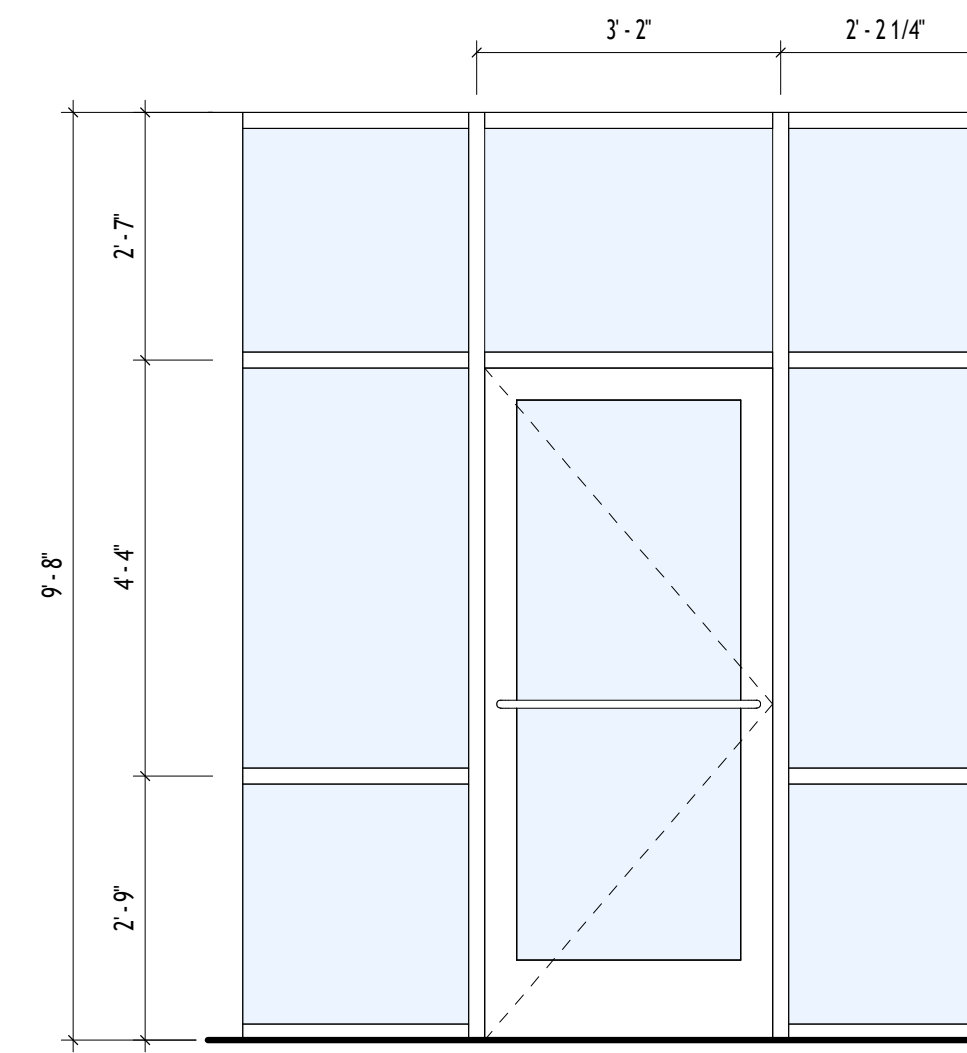
**SF1**



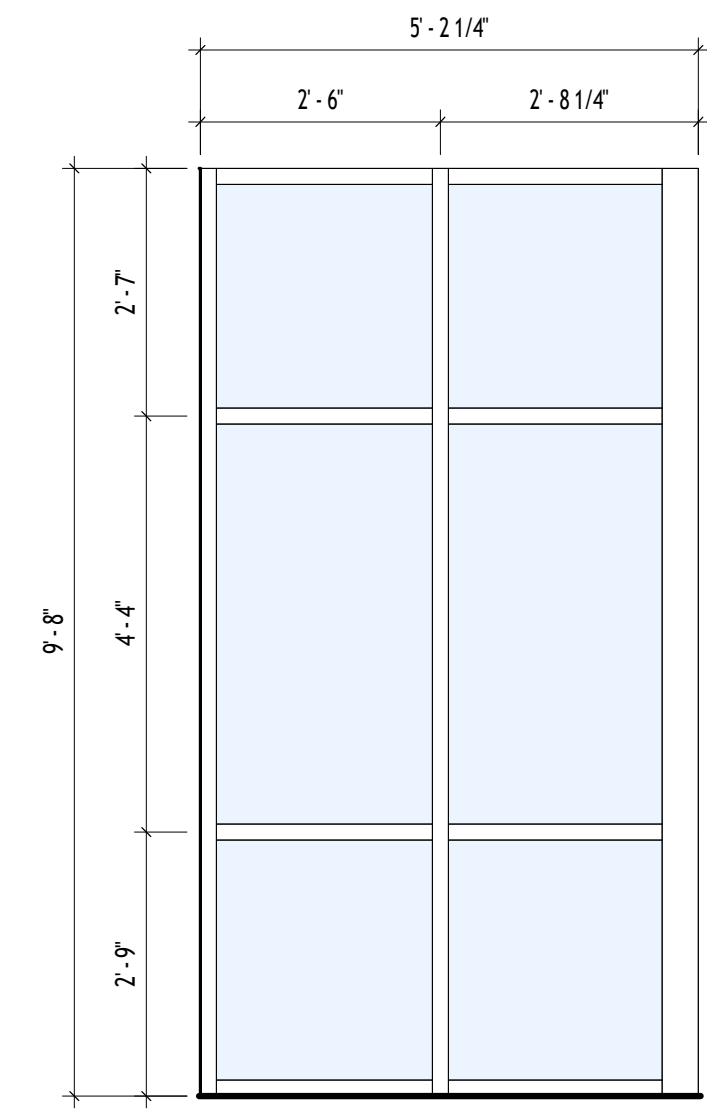
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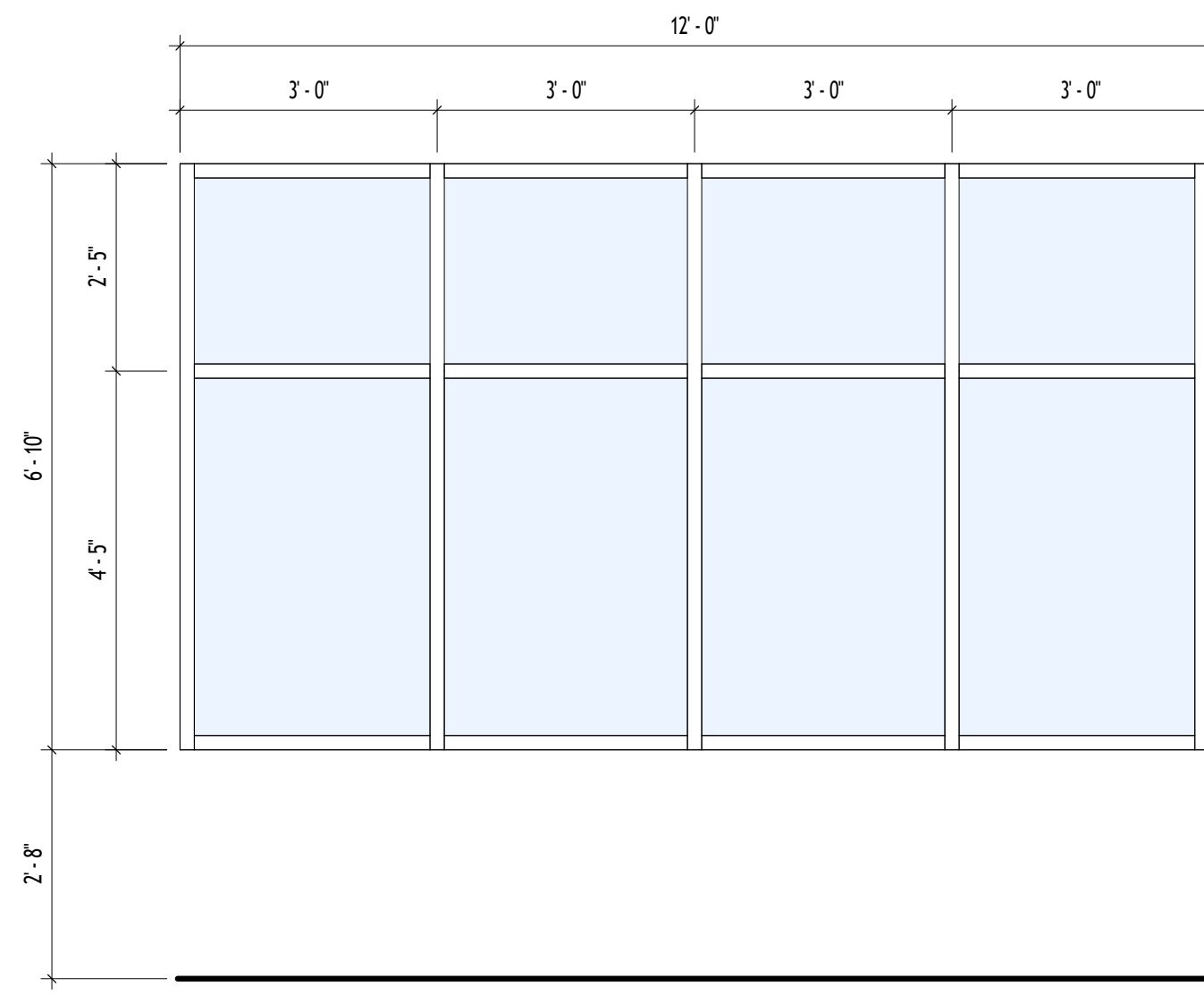
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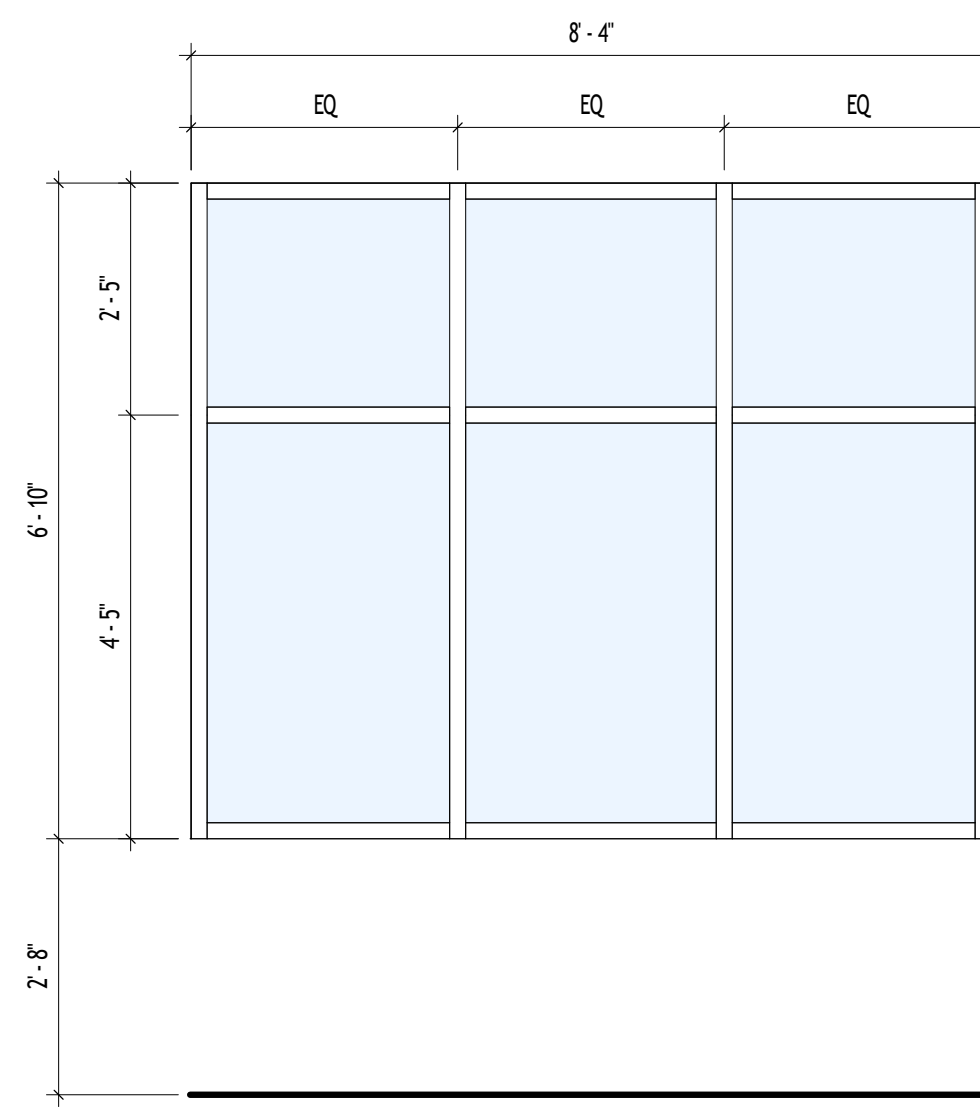
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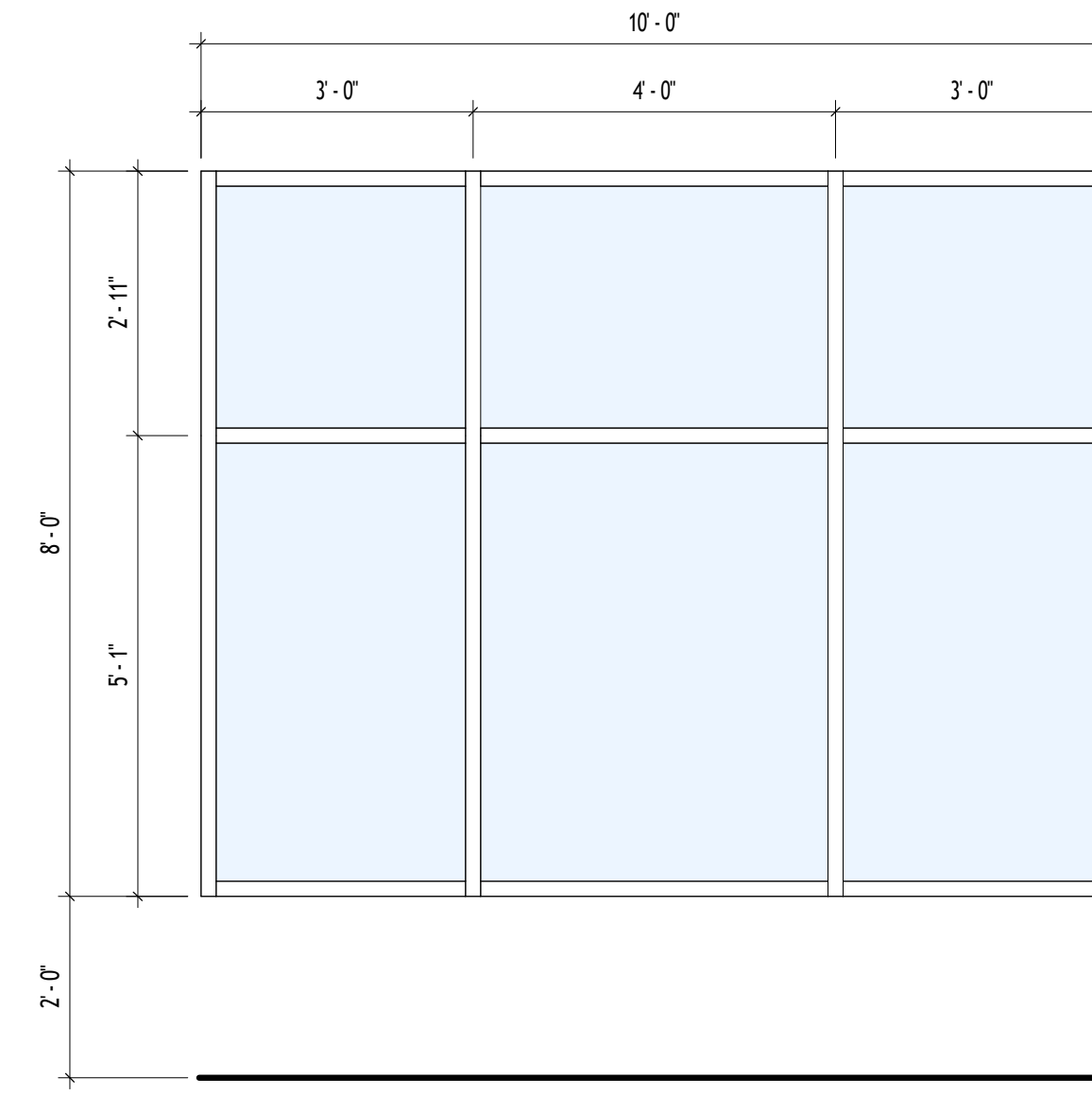
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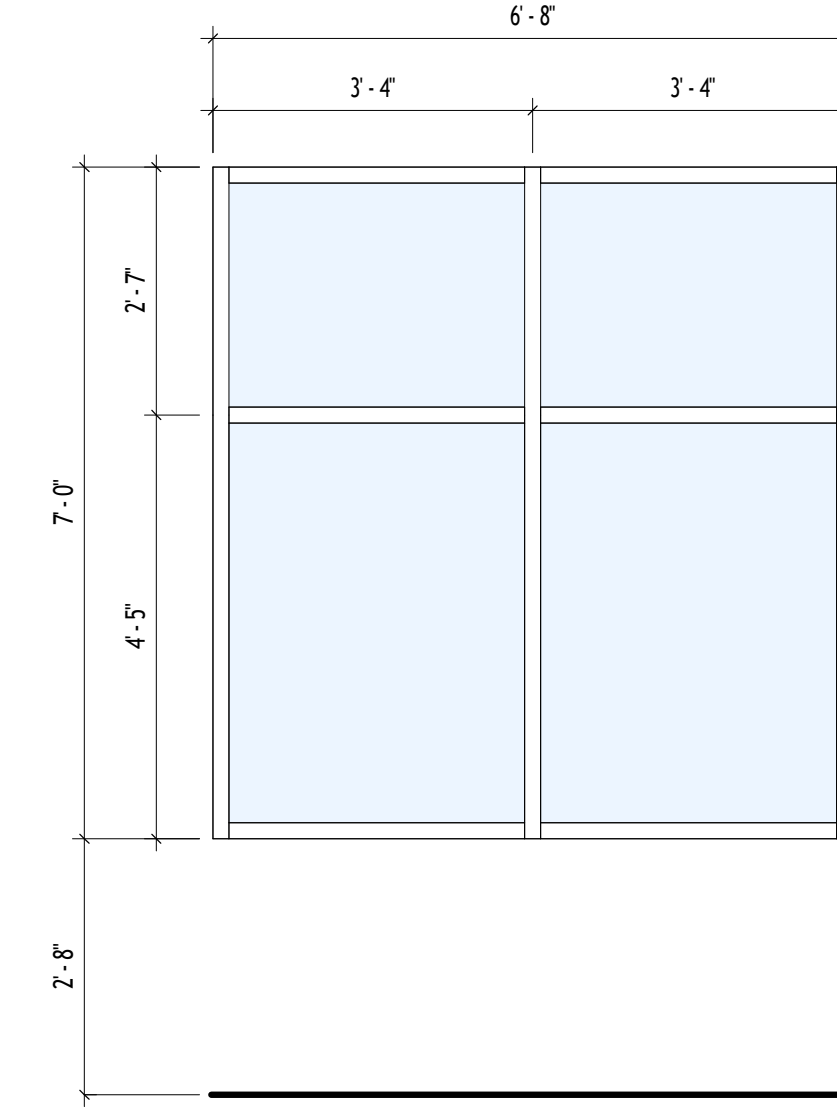
**SF6**



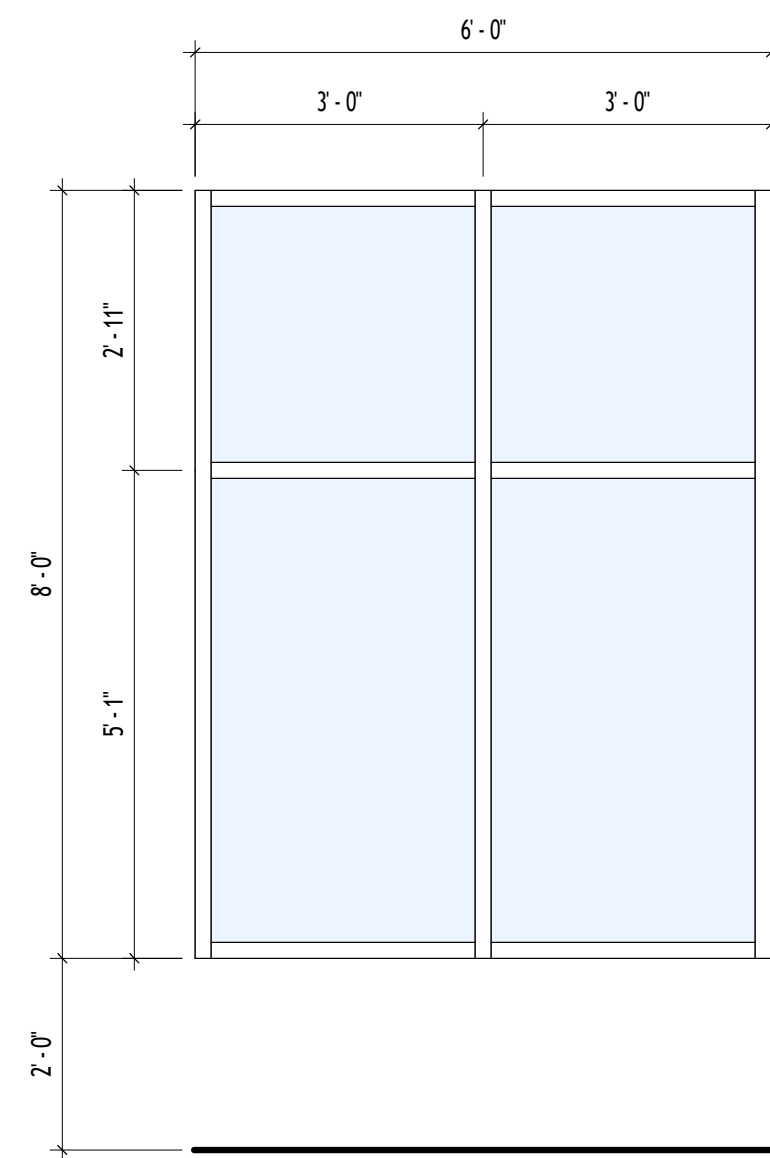
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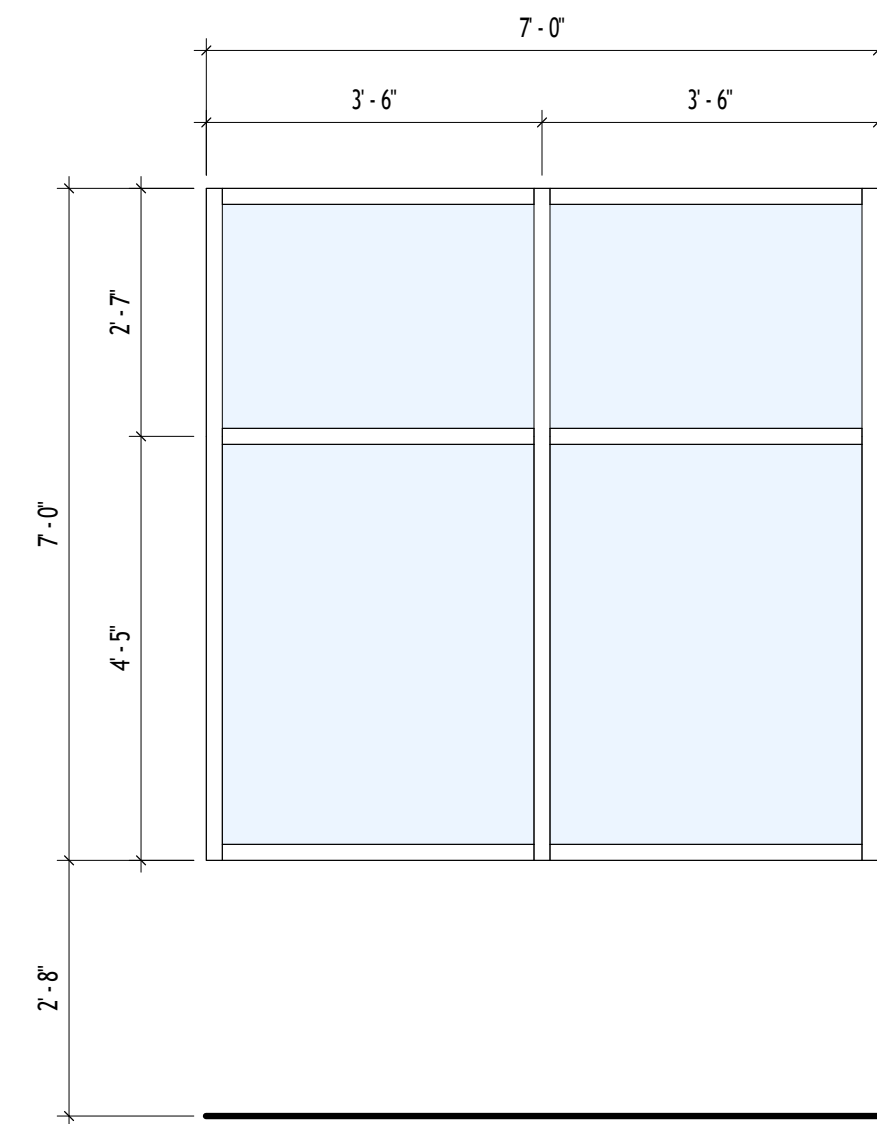
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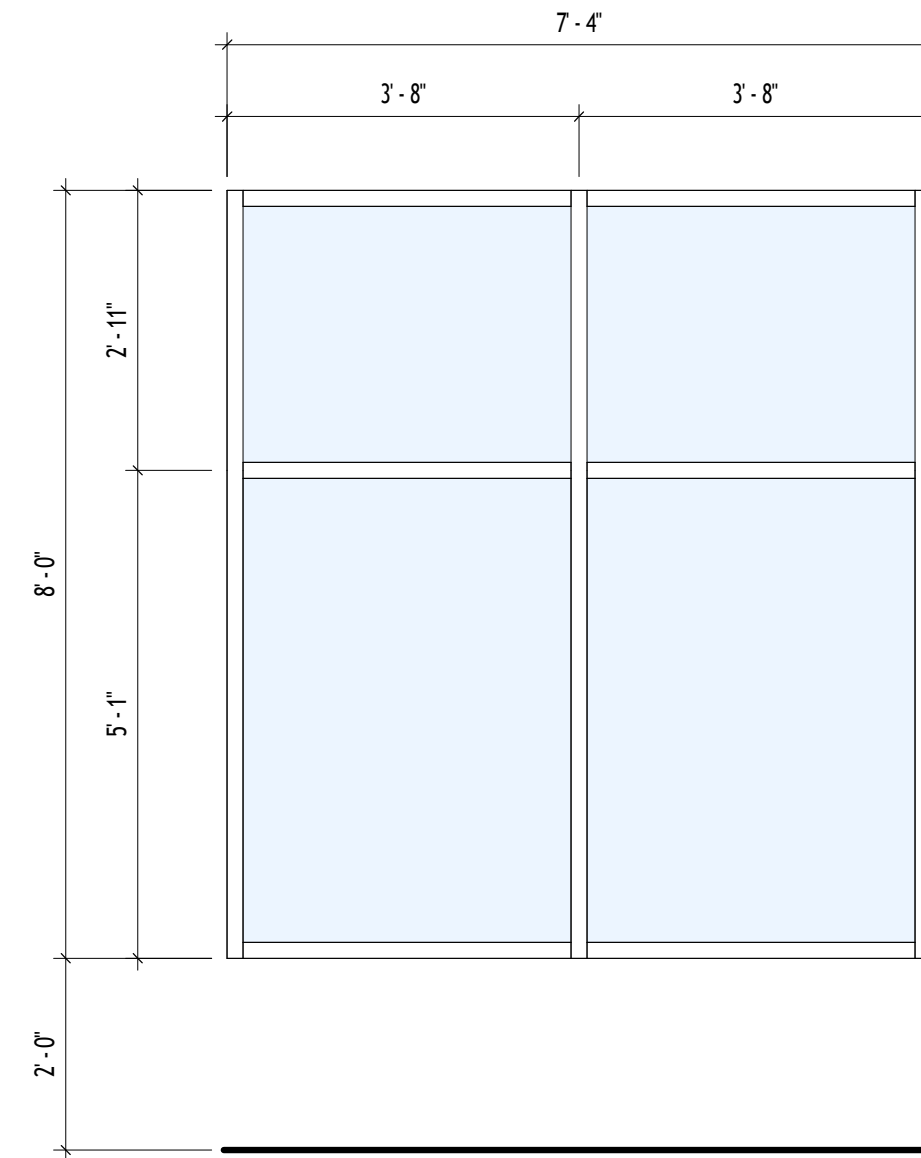
**SF9**



**SF10**



**SF11**



**SF12**

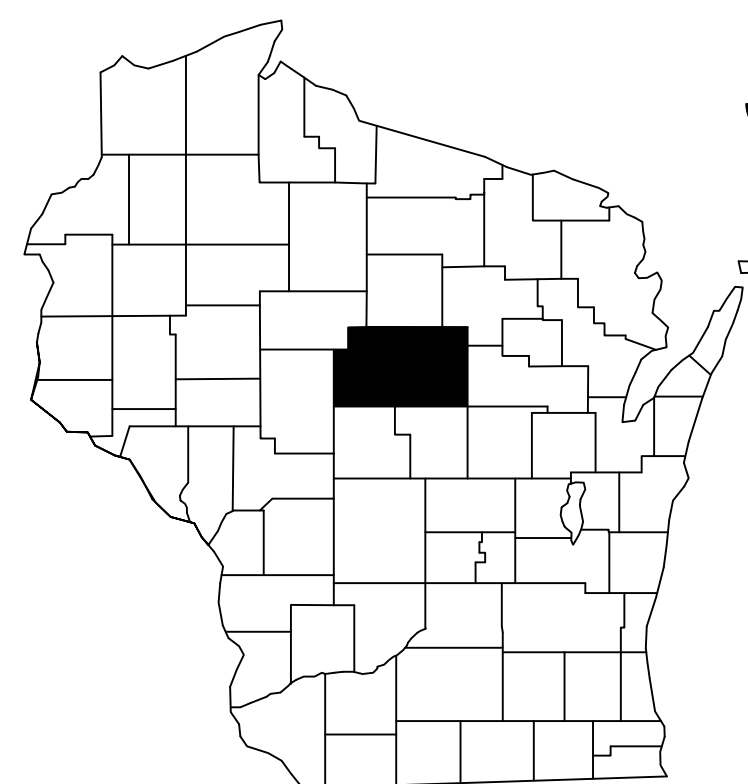
- NOTES:
- 4500 SERIES STOREFRONT FRAMING
  - BLACK ANODIZED COATING

MARK	DATE	DESCRIPTION

DRAWN BY: BC  
JOB NO: 25-009  
DATE: 04.03.25

STOREFRONT  
ELEVATIONS

MARATHON COUNTY



VICINITY MAP

# STITTLEBURG RESTORATIVE HEALTH CARE

## BC ARCHITECTURE

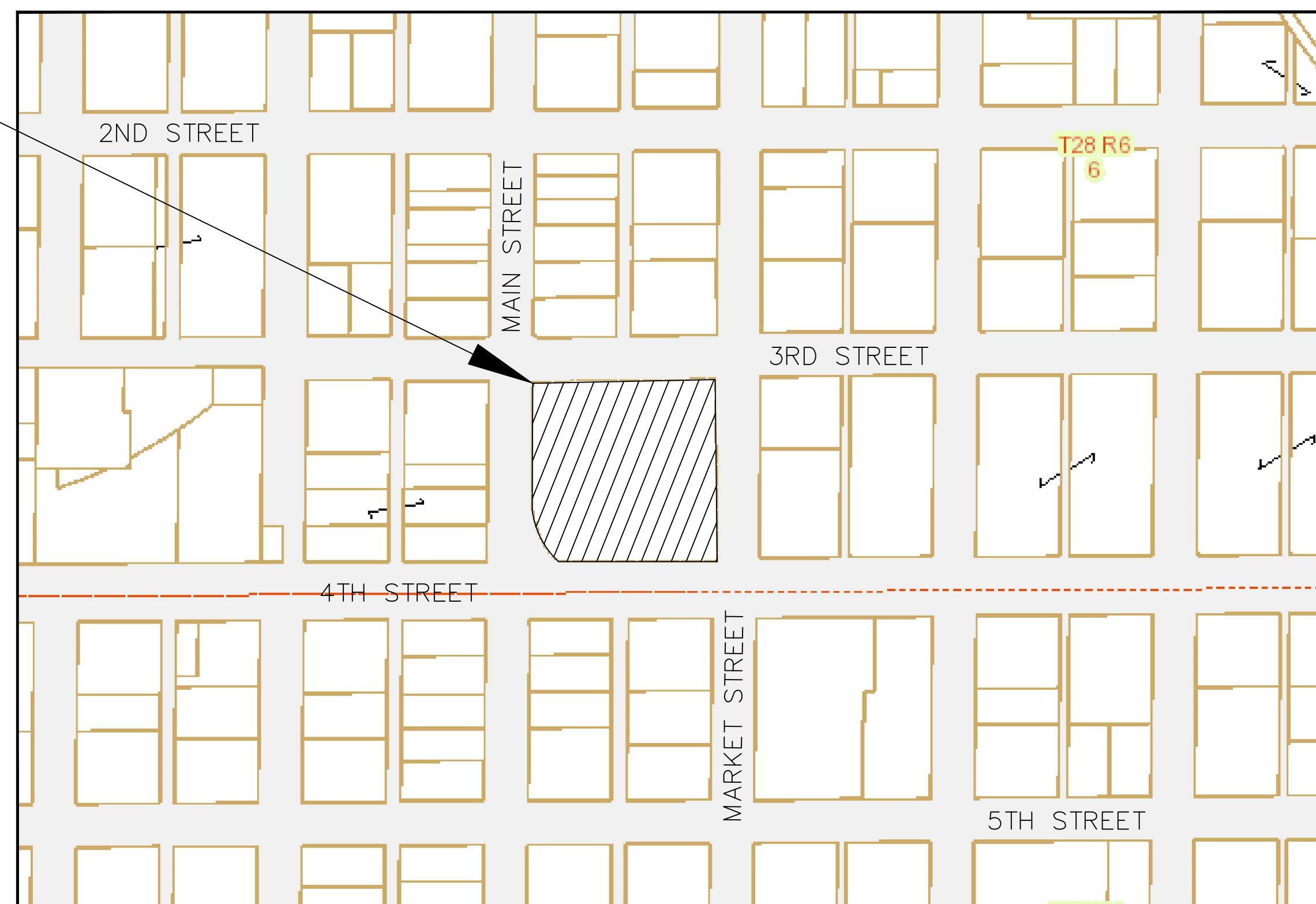
### 400 MAIN STREET

### MARATHON CITY, WI 54448



Know what's below.  
Call before you dig.

### PROJECT LOCATION



LOCATION MAP

### CONTACTS

ADMIN	VILLAGE OF MARATHON CITY ATTN: STEVE CHEREK - (715) 443-2221
WATER & SANITARY	VILLAGE OF MARATHON CITY (715) 443-2223
ELECTRIC	WISCONSIN PUBLIC SERVICE CORPORATION (800) 450-7260
TELEPHONE	FRONTIER COMMUNICATIONS (262) 446-9821
GAS	WISCONSIN PUBLIC SERVICE CORPORATION (800) 450-7260
CABLE	CHARTER COMMUNICATIONS (262) 446-9821
FIRE DEPT.	VILLAGE OF MARATHON CITY - FIRE CHIEF ATTN: DARRIN HALL - (715) 680-6632

SCHEDULE OF REQUIRED PERMITS		
APPROVALS NEEDED	DATE SUBMITTED	APPROVAL
DSPS EXTERIOR PLUMBING PLAN REVIEW		

### LEGEND

EXISTING	PROPOSED	
		---BENCHMARK
		---CONTROL POINT
		---SIGN
		---CURB STOP
		---WELL
		---HYDRANT
		---GATE VALVE
		---CURB INLET
		---AREA DRAIN
		---SAN MH
		---STORM MH
		---SAN CLEANOUT
		---GAS MANHOLE
		---LIGHT POLE
		---UTILITY POLE
		---GUY WIRE
		---GUY POLE
		---PULL BOX
		---ELEC PED
		---CABLE PED
		---MAILBOX
		---TELE PED
		---IRON PIPE
		---ROW POST
		---REBAR
		---WATER MAIN
		---SANITARY SEWER
		---STORM SEWER
		---OVERHEAD UTILITY
		---TELEPHONE LINE
		---GAS LINE
		---ELECTRIC LINE
		---CABLE TV LINE
		---TREELINE
		---EXISTING TREES
		---MARSH
		---FENCE LINE
		---WOVEN WIRE FENCE
		---SILT FENCE
		---RETAINING WALL
		---CONTOURS MAJOR
		---CONTOURS MINOR

ABBREVIATIONS:  
 BC=BACK OF CURB  
 BLK=BLOCK NUMBER  
 BTM=BOTTOM (ELEV)  
 CL=CENTERLINE  
 CS=CURB STOP  
 ELEV=ELEVATION  
 EOP=EDGE OF PAVEMENT  
 EX=EXISTING  
 FES=FLARED END SECTION  
 FF=FINISHED FLOOR (ELEV)  
 FL=FLOWLINE  
 GF=GARAGE FLOOR (ELEV) @  
 OVERHEAD DOOR  
 GLG=GROUND LINE GROOVE  
 HWL=HIGH WATER LEVEL  
 INV=INVERT  
 LF=LINEAR FEET  
 LO=LOOKOUT STYLE HOME  
 LT=LEFT  
 MIN=MINIMUM  
 NWL=NORMAL WATER LEVEL  
 PC=POINT OF CURVE  
 PRC=CURVE REVERSAL POINT  
 PT=POINT OF TANGENCY  
 RAD=RADIUS  
 RT=RIGHT  
 R/W=RIGHT OF WAY  
 SAN=SANITARY SEWER  
 SP=SPOT ELEVATION  
 SS=SAFETY SHELF (ELEV)  
 STA=STATION  
 STM=STORM SEWER  
 TC=TOP OF CURB  
 T.O.P.=TOP OF PIPE  
 TP=TOP OF PAVEMENT  
 TYP=TYPICAL  
 W=WATER FITTINGS  
 WTR=WATER  
 WM=WATERMAIN  
 WO=WALKOUT STYLE HOME

SHEET SCHEDULE	
SHEET NO.	DESCRIPTION
C100	TITLE SHEET
C200	EXISTING CONDITIONS & DEMOLITION PLAN
C300	SITE PLAN
C400	EROSION CONTROL PLAN
C500	GRADING PLAN
C600	UTILITY PLAN
C700-C701	DETAILS

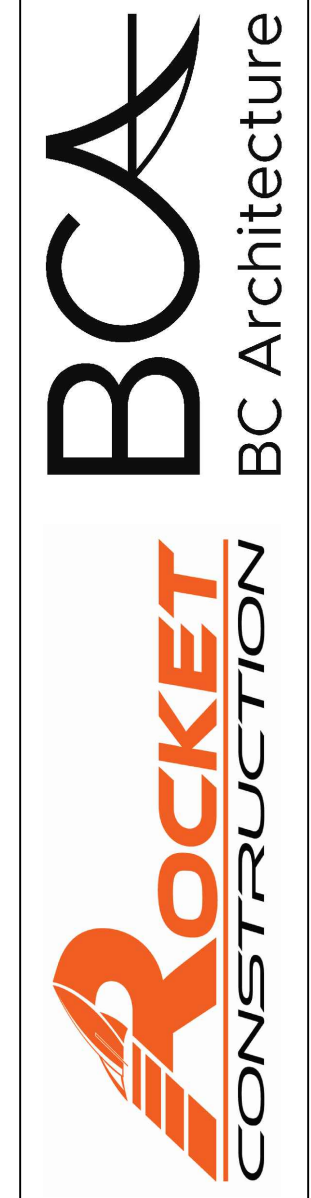
AEC PROJECT #: 26010      PLANS DATED: MAY 2026



ADVANCED ENGINEERING CONCEPTS  
 1360 INTERNATIONAL DR.  
 EAU CLAIRE, WI 54701  
 PH 715-552-0330  
 INFO@AEC.ENGINEERING  
 COPYRIGHT 2026, AEC LLC

PROJECT DEVELOPER/ CLIENT:  
 BC ARCHITECTURE  
 ATTN: BRYANT CHRISTENSON  
 225 E MADISON #1284  
 EAU CLAIRE, WI 54703  
 PHONE: 715.225.2984  
 EMAIL: Bryant@bcarch.us

PROJECT MANAGER:  
 ADVANCED ENGINEERING CONCEPTS  
 ATTN: SCOTT CERVENY  
 1360 INTERNATIONAL DRIVE  
 EAU CLAIRE, WI 54701  
 PHONE: 715.552.0330  
 EMAIL: scerveny@aec.engineering



DR. TARYN STITTLEBURG  
 STITTLEBURG RESTORATIVE HEALTH CARE  
 400 MAIN STREET, MARATHON CITY, WI 54448

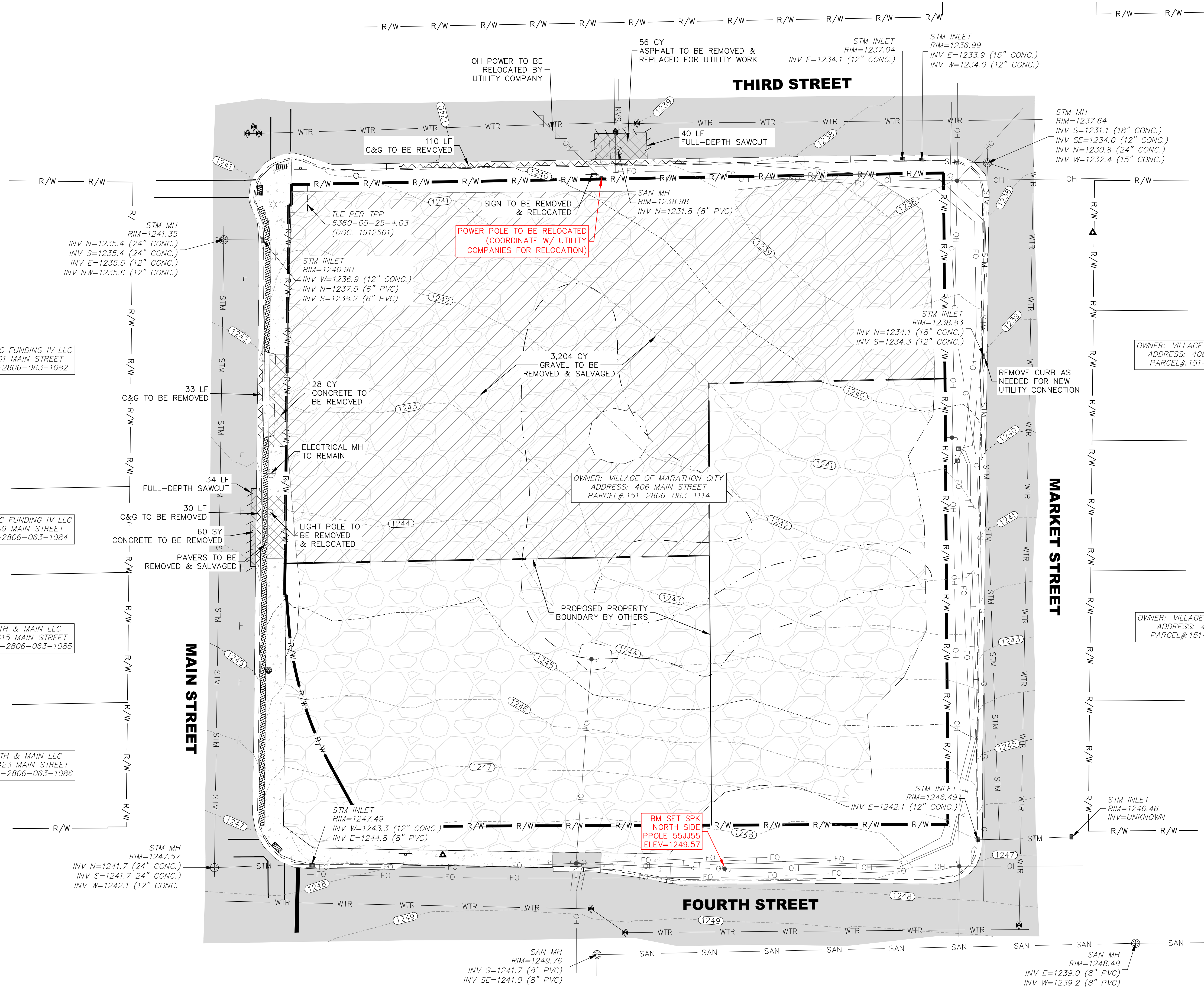
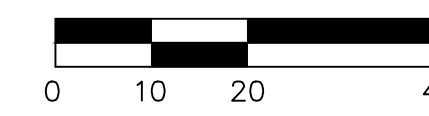
MARK	DATE	DESCRIPTION

DRAWN BY: EM  
 JOB NO: 25-009/26010  
 DATE: 05.13.26

TITLE  
**C100**



Know what's below.  
Call before you dig.



**LEGEND**

- (1105)--- EXISTING CONTOURS-MNR
- (1105)--- EXISTING CONTOURS-MJR
- [Hatched Box] GRAVEL REMOVAL & SALVAGE
- [Cross-hatched Box] REMOVE PAVEMENT
- [Wavy Line] FULL-DEPTH SAWCUT
- [Wavy Line] CURB & GUTTER REMOVAL
- [Wavy Line] UTILITY REMOVALS

**GENERAL NOTES:**

- UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION OF LOCATIONS. THE CLIENT, CITY, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
- CLEARING AND GRUBBING SHALL ONLY BE IN THOSE LOCATIONS DIRECTED BY THE ENGINEER AND/OR OWNER. CONTRACTOR SHALL PROTECT ALL TREES, SHRUBS, AND CORRESPONDING ROOT SYSTEMS FROM DAMAGE. ALL WORK WITH POTENTIAL IMPACT ON UN-CLEARED TREES AND/OR SHRUBS SHALL BE COORDINATED WITH THE ENGINEER AND/OR OWNER.
- CONTRACTOR SHALL NOT DISTURB ANY R/W IRONS. ANY REMOVAL SHALL BE APPROVED BY THE ENGINEER, OTHERWISE THE CONTRACTOR SHALL BE BILLED FOR REPLACEMENT.
- CONTRACTOR SHALL VERIFY THE AMOUNT OF PAVEMENT REMOVAL WITH THE PROJECT MANAGER.
- CONTRACTOR TO COORDINATE LOCATIONS AND LIMITS OF SAWCUTS WITH THE PROJECT MANAGER.
- CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS FOR BURNING OR MATERIAL DISPOSAL.
- CONTRACTOR TO REPAIR AND RESTORE ANY DAMAGED OR DISTURBED AREAS OF PAVEMENT, CONCRETE, LANDSCAPING, ELECTRICAL, AND AUTOMATIC IRRIGATION, ETC. TO ITS ORIGINAL CONDITION ON ADJACENT PROPERTIES.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
- TOPOGRAPHIC SURVEY PERFORMED BY RIVERSIDE LAND SURVEYING FEBRUARY 13, 2026.

OWNER: SCF RC FUNDING IV LLC  
ADDRESS: 401 MAIN STREET  
PARCEL#: 151-2806-063-1082

OWNER: SCF RC FUNDING IV LLC  
ADDRESS: 409 MAIN STREET  
PARCEL#: 151-2806-063-1084

OWNER: 4TH & MAIN LLC  
ADDRESS: 415 MAIN STREET  
PARCEL#: 151-2806-063-1085

OWNER: 4TH & MAIN LLC  
ADDRESS: 423 MAIN STREET  
PARCEL#: 151-2806-063-1086

OWNER: VILLAGE OF MARATHON CITY  
ADDRESS: 406 MAIN STREET  
PARCEL#: 151-2806-063-1114

OWNER: VILLAGE OF MARATHON CITY  
ADDRESS: 408 MARKET STREET  
PARCEL#: 151-2806-064-1058

OWNER: VILLAGE OF MARATHON CITY  
ADDRESS: 408 4TH STREET  
PARCEL#: 151-2806-064-1057

NOTE:  
CONTRACTOR TO FIELD VERIFY  
EXISTING UTILITY LOCATIONS

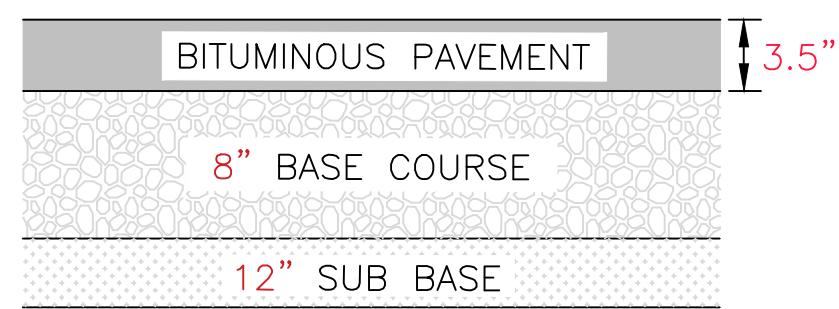


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1360 INTERNATIONAL DR.  
EAU CLAIRE, WI 54701  
PH 715-552-0330  
INFO@AEC.ENGINEERING  
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MARK	DATE	DESCRIPTION

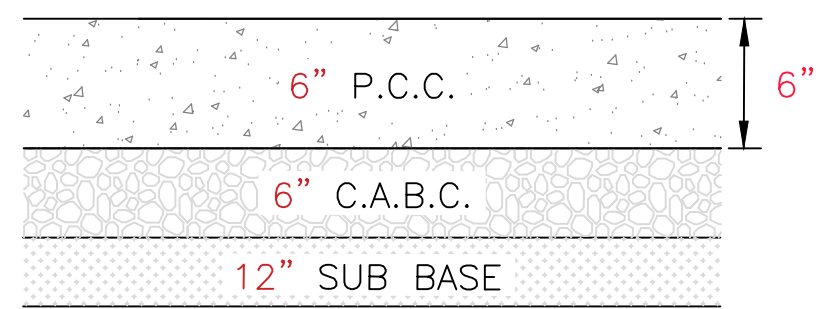
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JOB NO: 25-009/26010  
DATE: 05.13.26  
EXISTING CONDITIONS & DEMOLITION PLAN

**TYPICAL PAVEMENT SECTION**



NOTE: PAVEMENT SECTIONS TO BE CONSTRUCTED PER GEOTECHNICAL ENGINEERING REPORT # P-0050698 COMPLETED BY AMERICAN ENGINEERING TESTING. PAVEMENT SECTIONS ABOVE SHALL BE USED ONLY FOR PRELIM HOLD-DOWN CALCULATIONS AND COST ANALYSIS.

**CONCRETE PAVEMENT SECTION**



NOTE: PAVEMENT SECTIONS TO BE CONSTRUCTED PER GEOTECHNICAL ENGINEERING REPORT # P-0050698 COMPLETED BY AMERICAN ENGINEERING TESTING. PAVEMENT SECTIONS ABOVE SHALL BE USED ONLY FOR PRELIM HOLD-DOWN CALCULATIONS AND COST ANALYSIS.



**HATCHING LEGEND**

- EXISTING BITUMINOUS PAVEMENT
- EXISTING GRASS/GRAVEL
- PROPOSED BITUMINOUS PAVEMENT
- PROPOSED BUILDING
- PROPOSED CONCRETE PAVEMENT (SIDEWALKS: 4" THICKNESS) (IF EXPOSED TO VEHICULAR TRAFFIC: 6" THICKNESS)
- EXISTING CONCRETE PAVEMENT
- NEW/SALVAGED PAVERS
- EXISTING PAVERS

**STITLEBURG RESTORATIVE HEALTH CARE  
400 MAIN STREET**

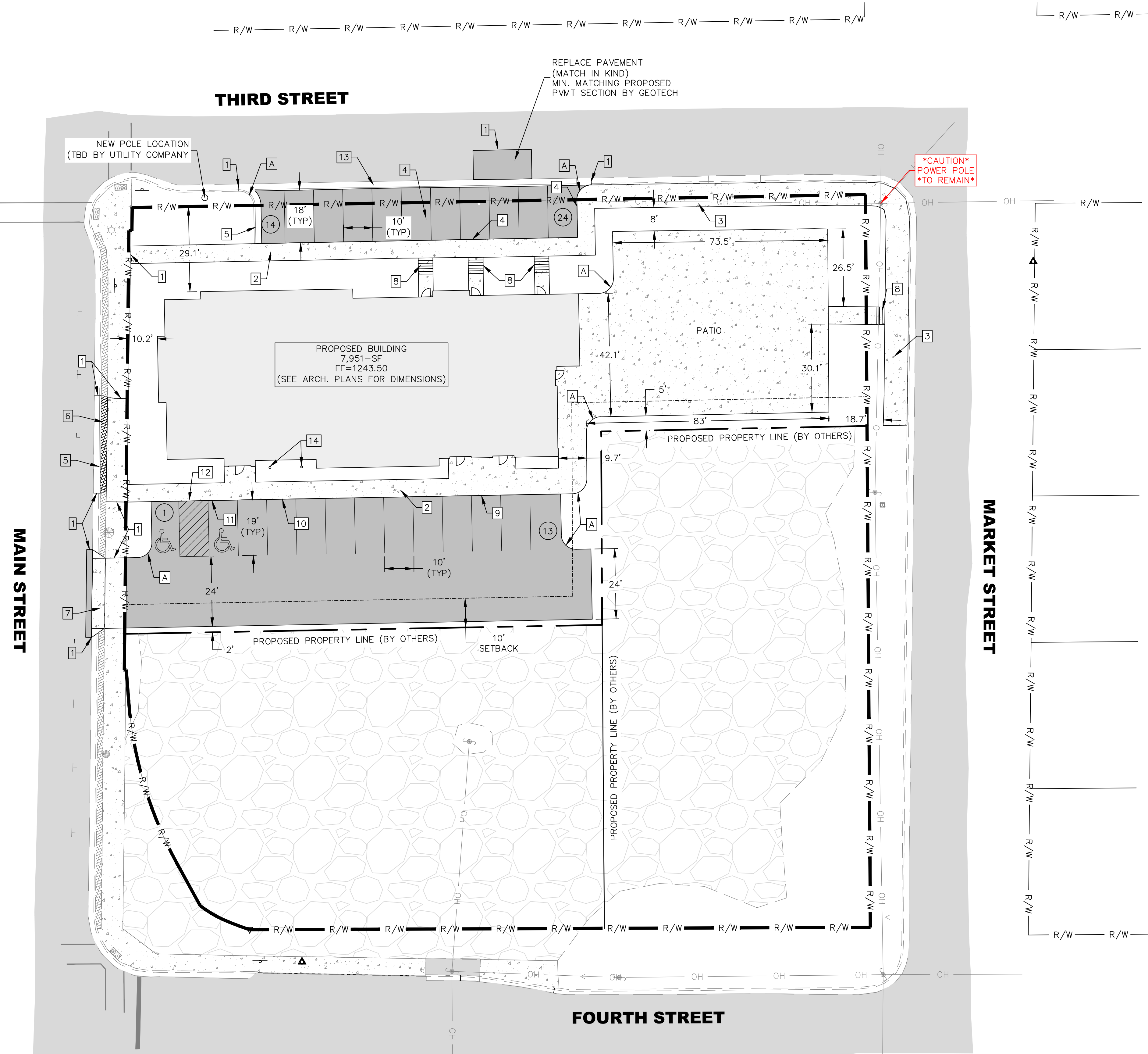
CURRENT ZONING: C-1 (DOWNTOWN COMMERCIAL)  
 LOT SIZE: 30,766 SF (0.71 AC.)  
 EXISTING IMPERVIOUS AREA: 0-SF (0.0%)  
 PROPOSED USE: HEALTH CARE  
 PROPOSED BUILDING: 7,951-SF (25.8%)  
 PROPOSED PAVEMENT: 9,801-SF (31.8%)  
 PROPOSED PATIO/SIDEWALK: 6,586-SF (21.4%)  
 OVERALL IMPERVIOUSNESS: 24,338-SF (79.1%)  
 GREEN SPACE: 6,428-SF (20.9%)  
 PARKING STALLS: 24 TOTAL (2 ACCESSIBLE)  
 BLDG SETBACKS:  
 FRONT: 0'  
 SIDE: 0'  
 REAR: 10'

**SITE PLAN KEY NOTES**

- 1 MATCH EXISTING
- 2 6' WIDE SIDEWALK
- 3 8' WIDE SIDEWALK
- 4 6" INTEGRATED CURB & GUTTER (DETAIL C-391)
- 5 NEW/SALVAGED PAVERS
- 6 30" CURB & GUTTER (DETAIL C-330)
- 7 CONCRETE DRIVE (DETAIL C-410)
- 8 CONCRETE STEP (DETAIL C-455) (# OF STEPS VARIES)
- 9 4" INTEGRATED CURB AND GUTTER (DETAIL C-390)
- 10 TRANSITION FROM INTEGRATED TO FLUSH
- 11 SIDEWALK FLUSH WITH PAVEMENT
- 12 ADA RAMP (DETAIL C-434)
- 13 30" CURB & GUTTER (DETAIL C-350) "TYPE-V"
- 14 ROOF DRAIN CHAINS (SEE ARCH. PLANS)

**RADIUS KEY - FROM EOP**

- A 5' RADIUS
- B 20' RADIUS



NOTE:  
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EXISTING UTILITY LOCATIONS



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 STITLEBURG RESTORATIVE HEALTH CARE  
 400 MAIN STREET, MARATHON CITY, WI 54448

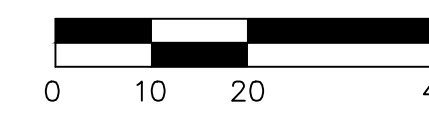
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SITE PLAN  
**C300**



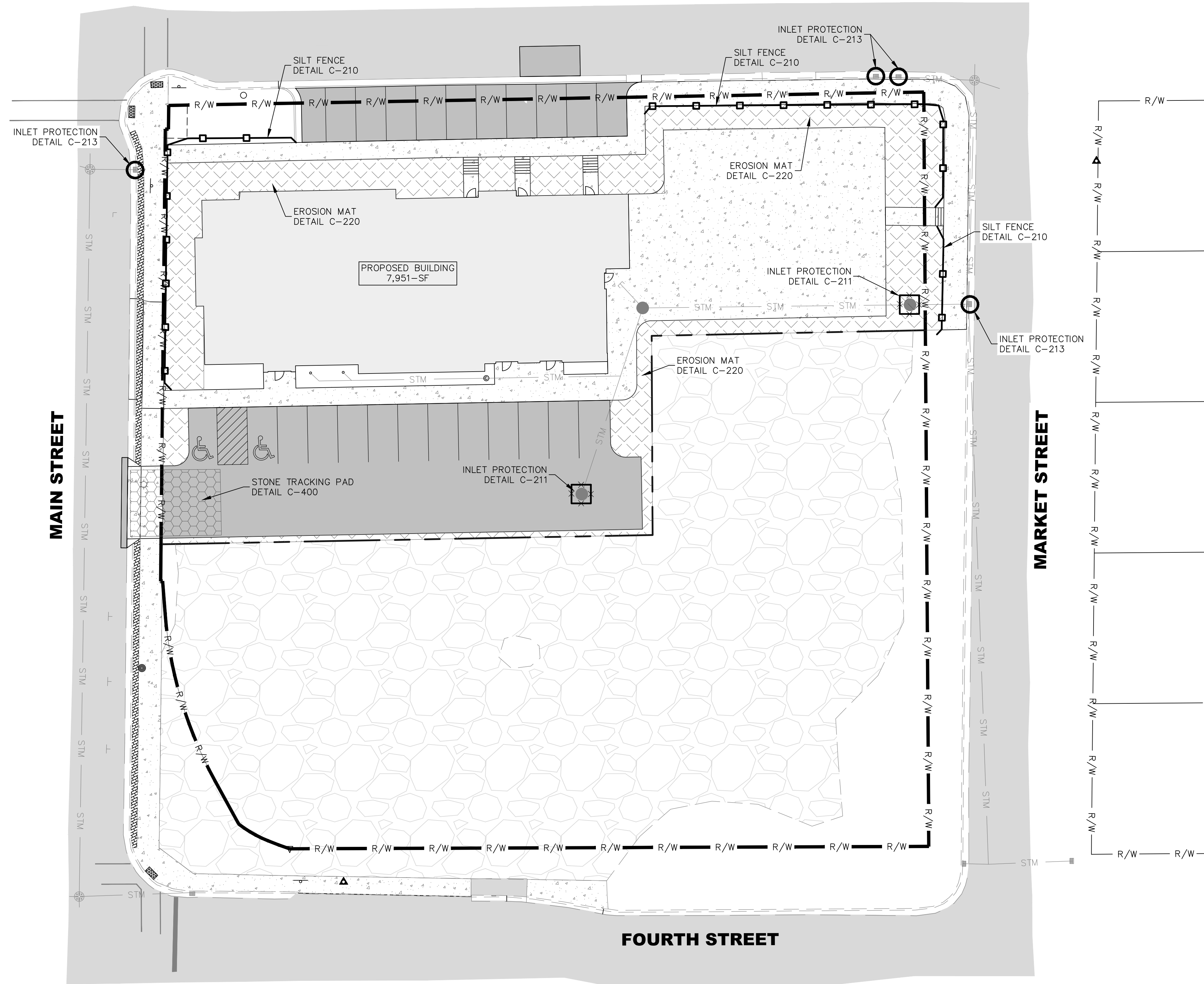
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R/W R/W R/W R/W R/W R/W R/W R/W R/W R/W R/W R/W R/W R/W R/W

R/W R/W

### THIRD STREET



#### EROSION CONTROL LEGEND

- SILT FENCE  
DETAIL C-210
- STONE TRACKING PAD  
DETAIL C-400
- EROSION MAT  
DETAIL C-220
- INLET PROTECTION  
TYPE-A  
DETAIL C-211
- INLET PROTECTION  
TYPE-D  
DETAIL C-213

THE EROSION CONTROL ON THIS PLAN HAS BEEN PREPARED AS A GUIDE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, MODIFYING AND IMPLEMENTING AN ALTERNATE EROSION CONTROL PLAN BASED ON THEIR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.

#### EROSION CONTROL NOTES:

1. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
2. CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
3. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
4. WHEN POSSIBLE, PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
5. REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT [http://dnr.wi.gov/topic/stormwater/standards/const\\_standards.html](http://dnr.wi.gov/topic/stormwater/standards/const_standards.html).
6. INSTALL PERIMETER EROSION CONTROLS AND STONE TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
7. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060.
8. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
9. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
10. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
11. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
12. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
13. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
14. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY CONTRACTOR. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
15. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1068.
16. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
17. FOR NON-CANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS I TYPE A EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S WIDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CANNEL EROSION MAT #1052.
18. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS I TYPE B EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S WIDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
19. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.

NOTE:  
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400 MAIN STREET, MARATHON CITY, WI 54448

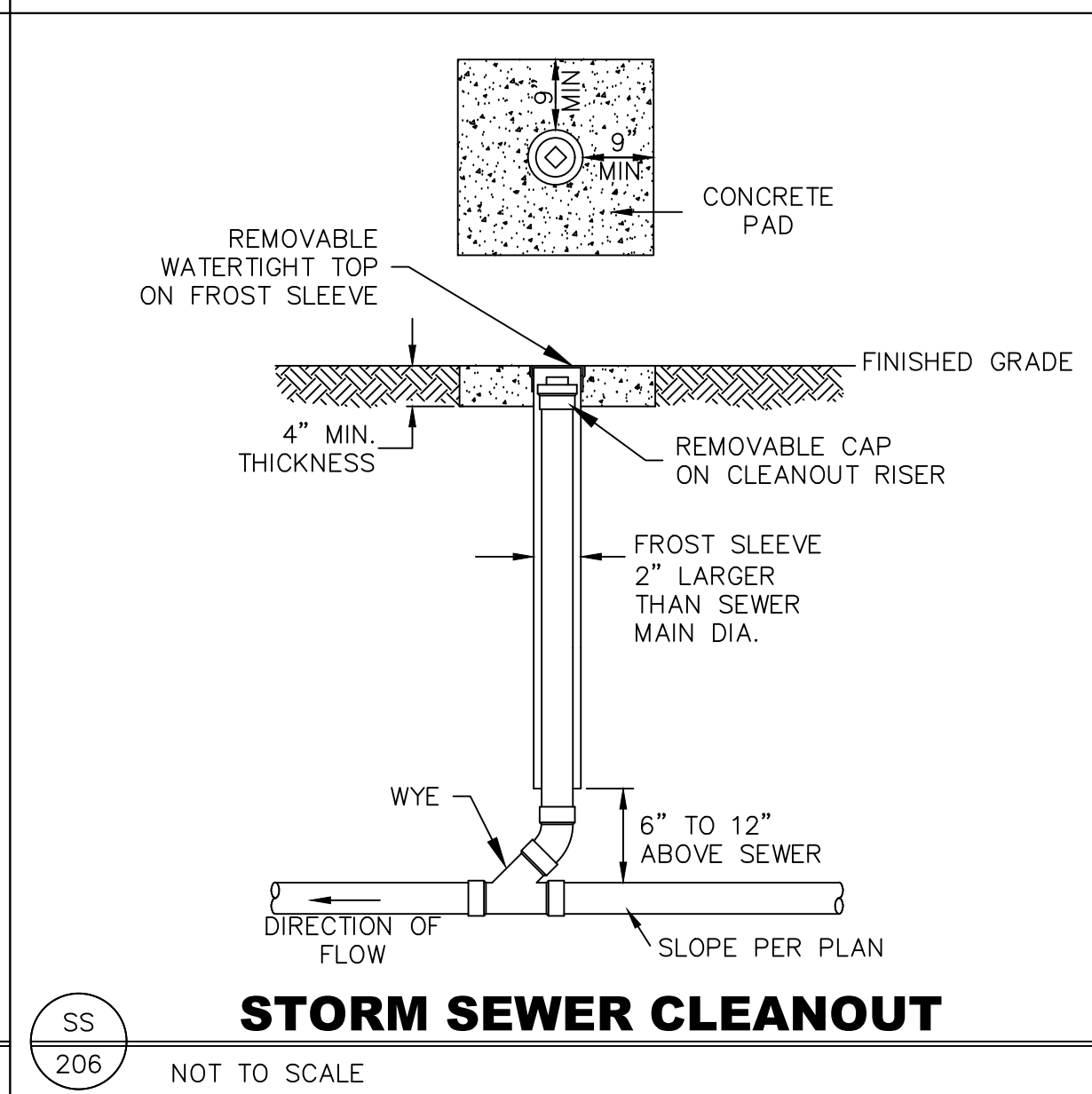
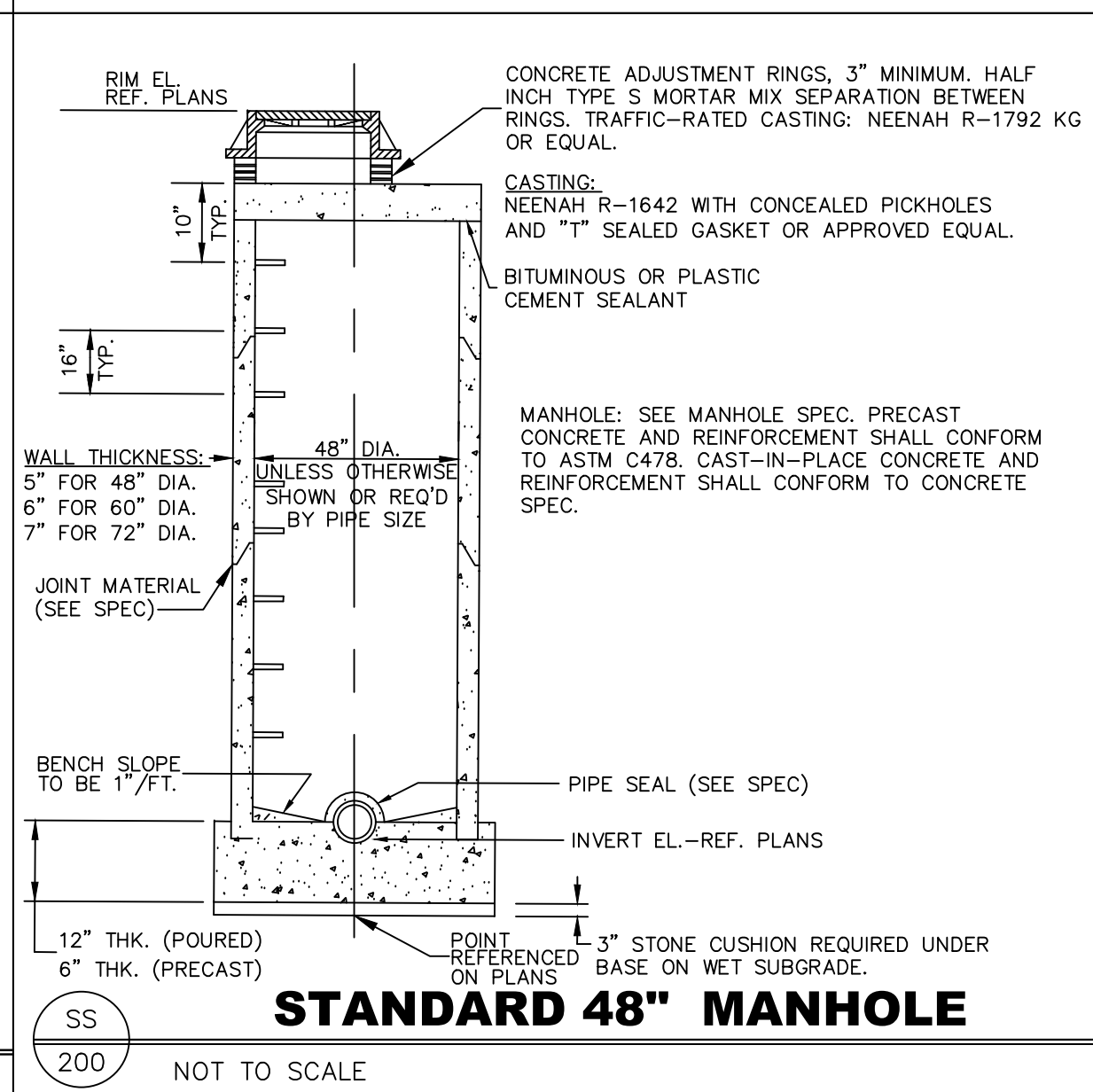
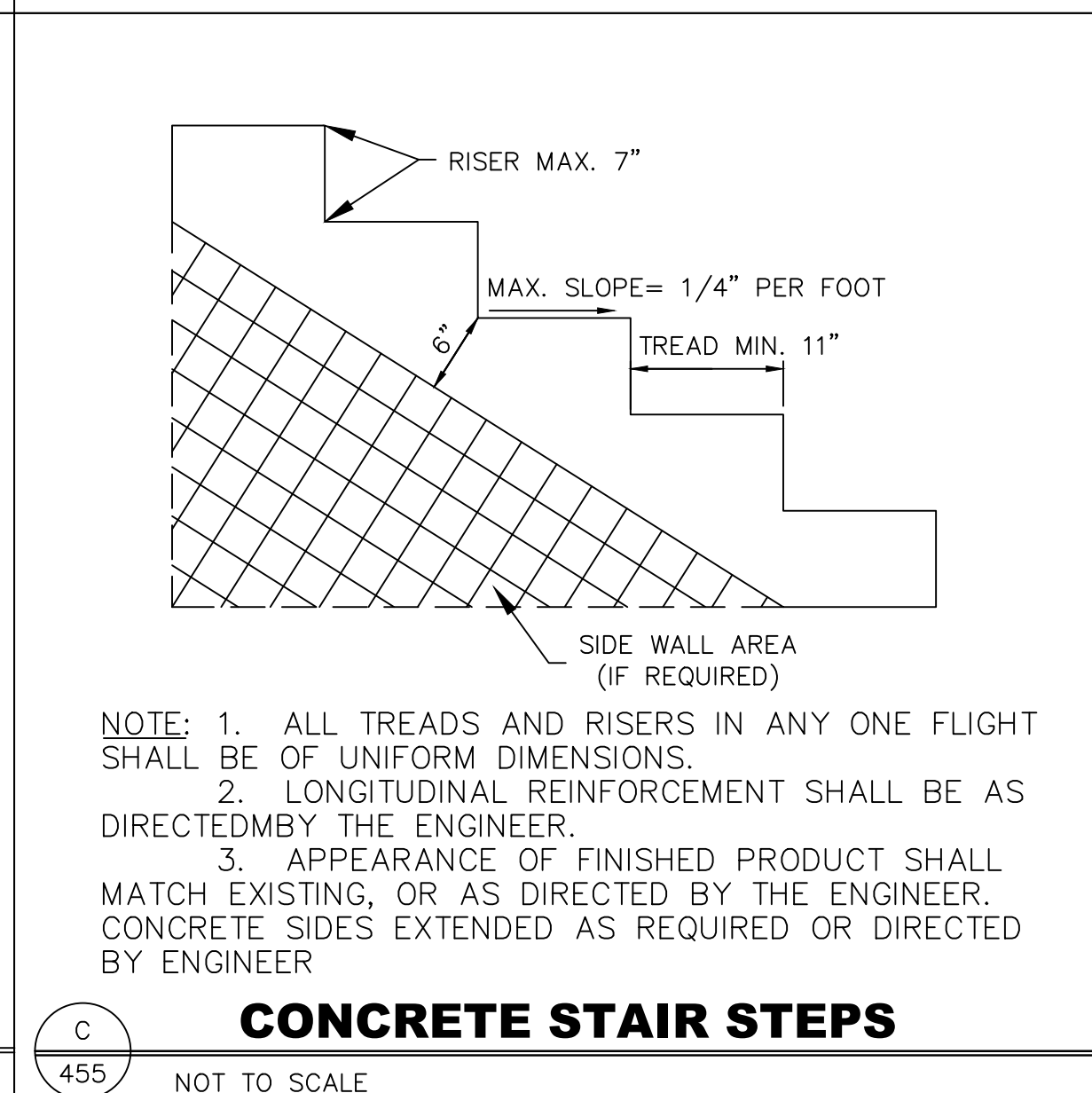
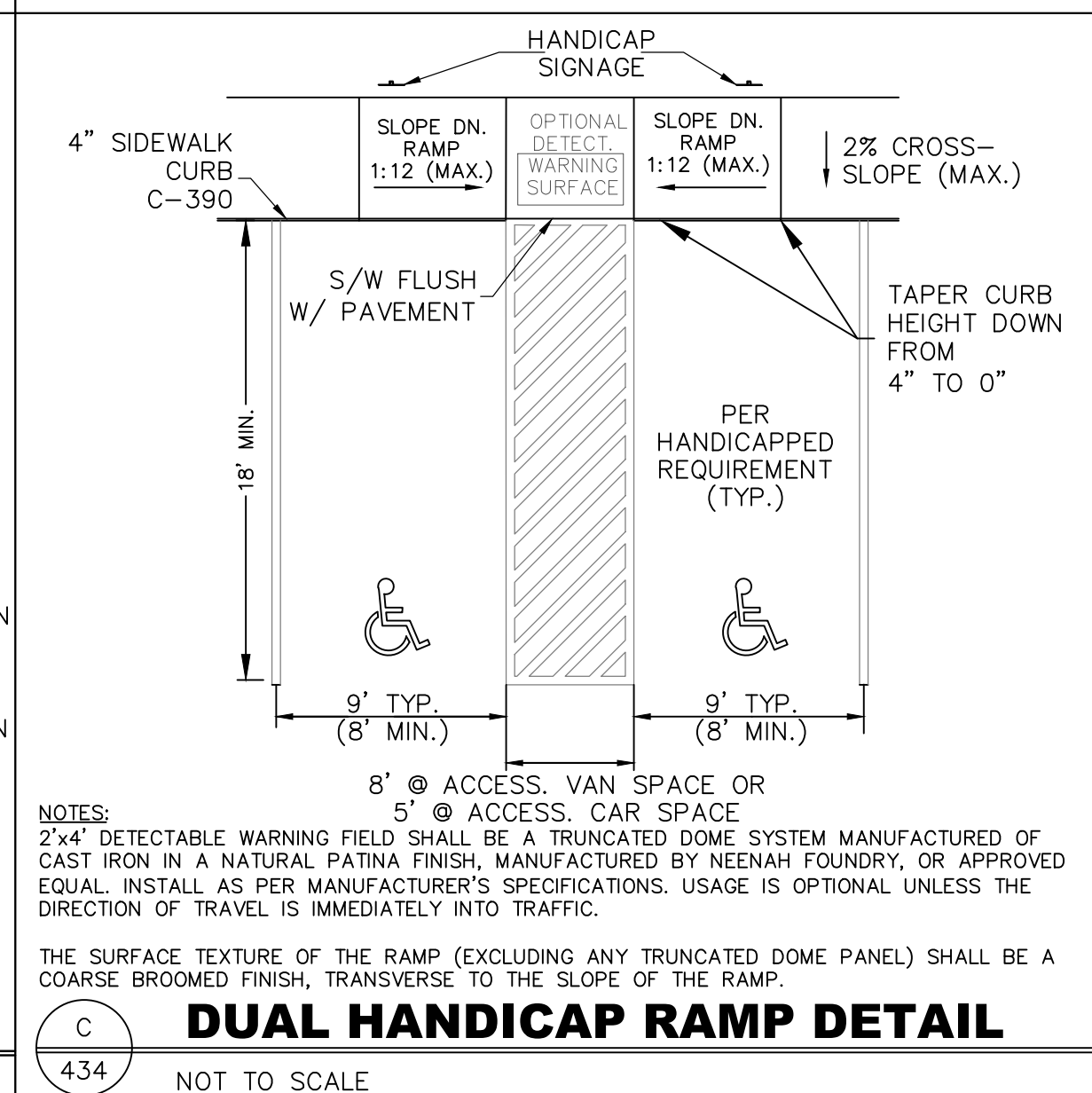
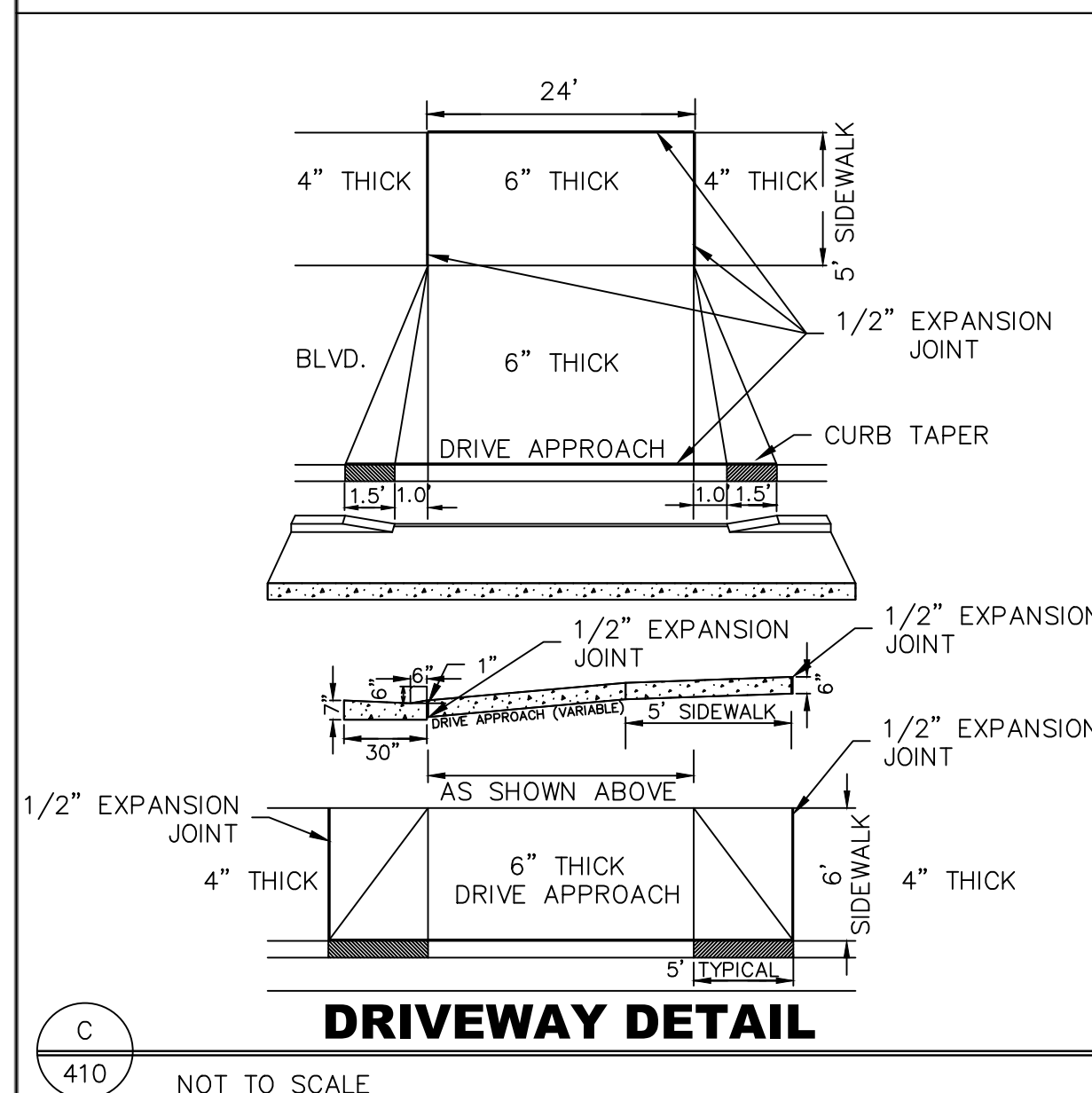
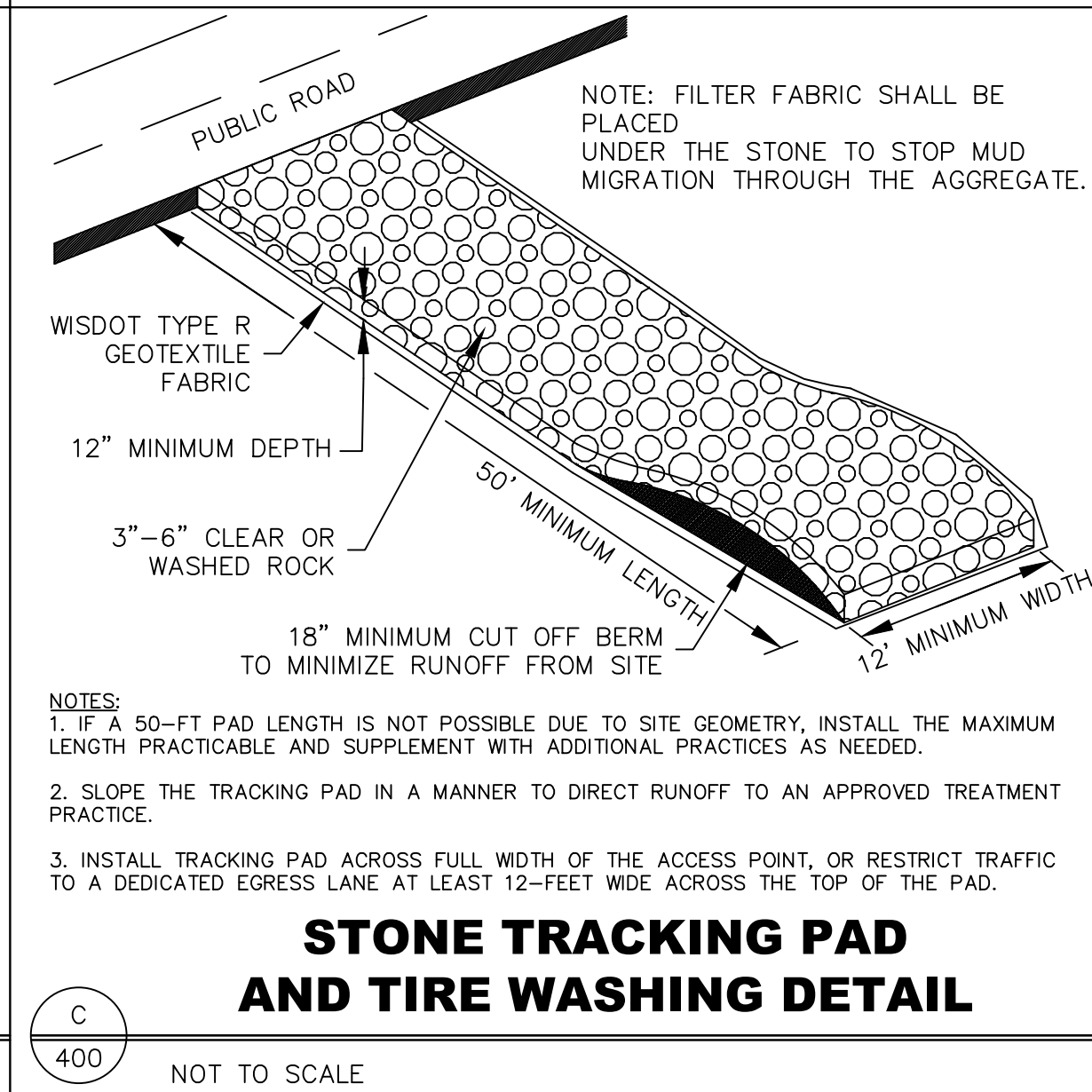
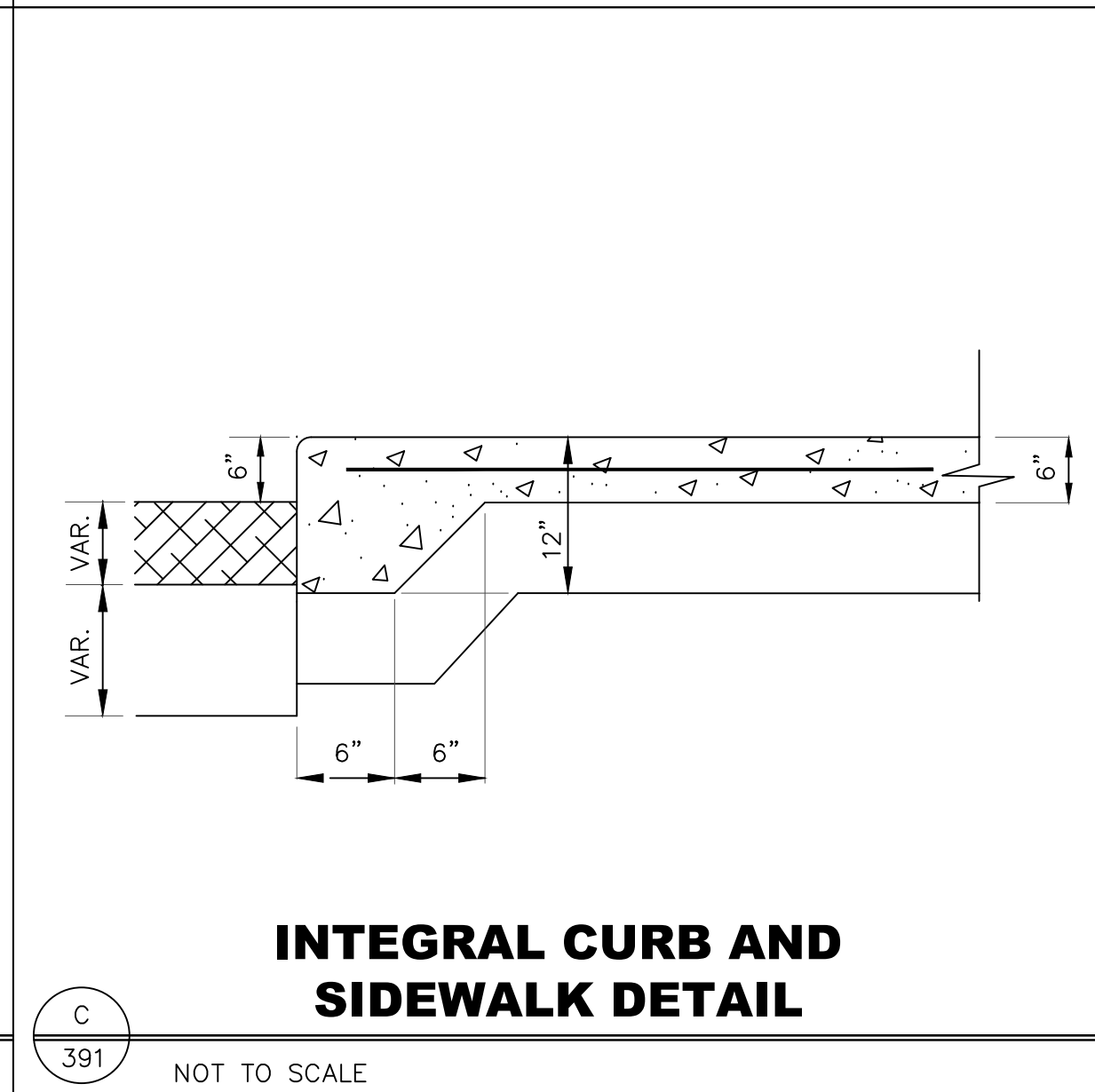
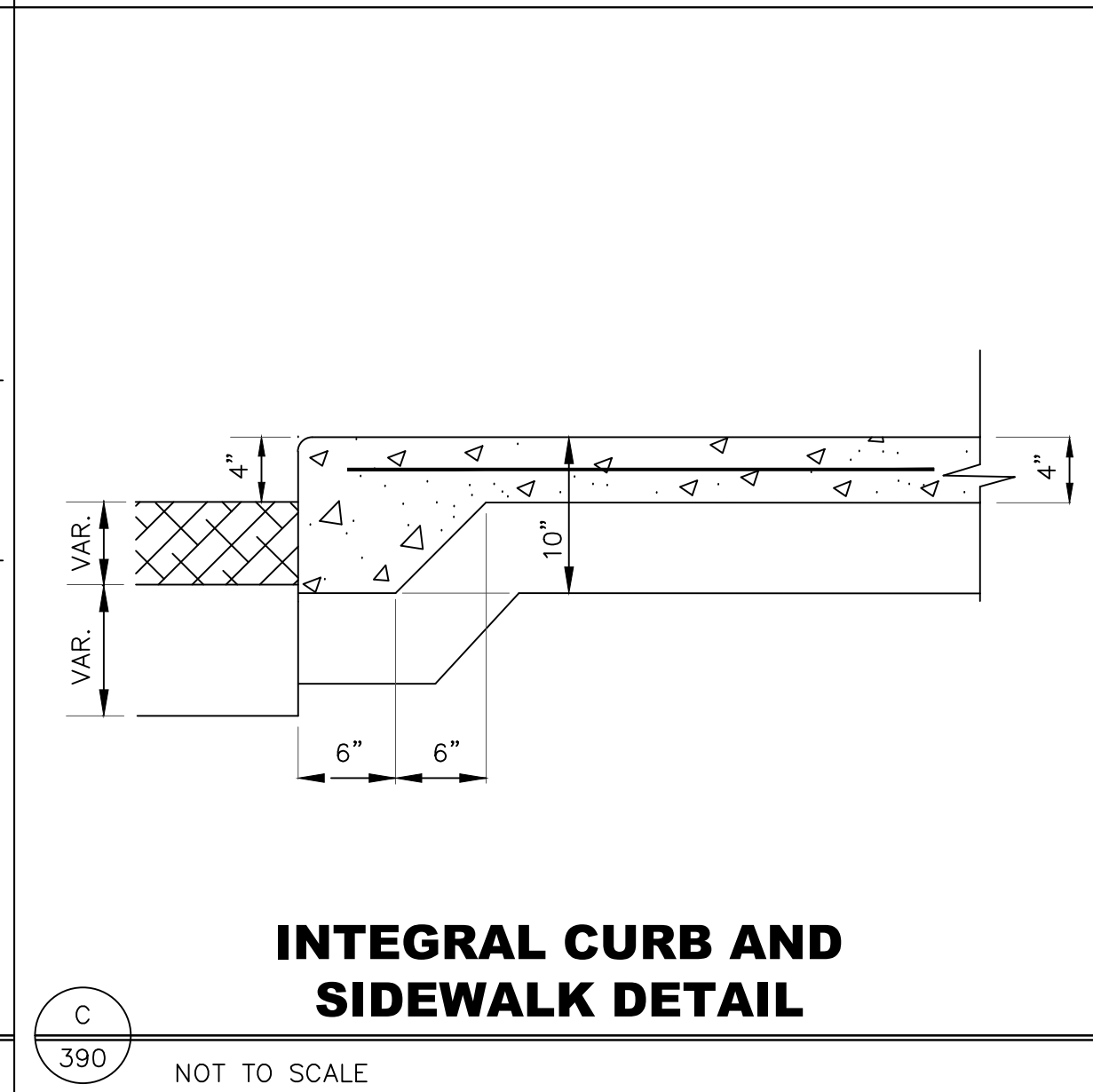
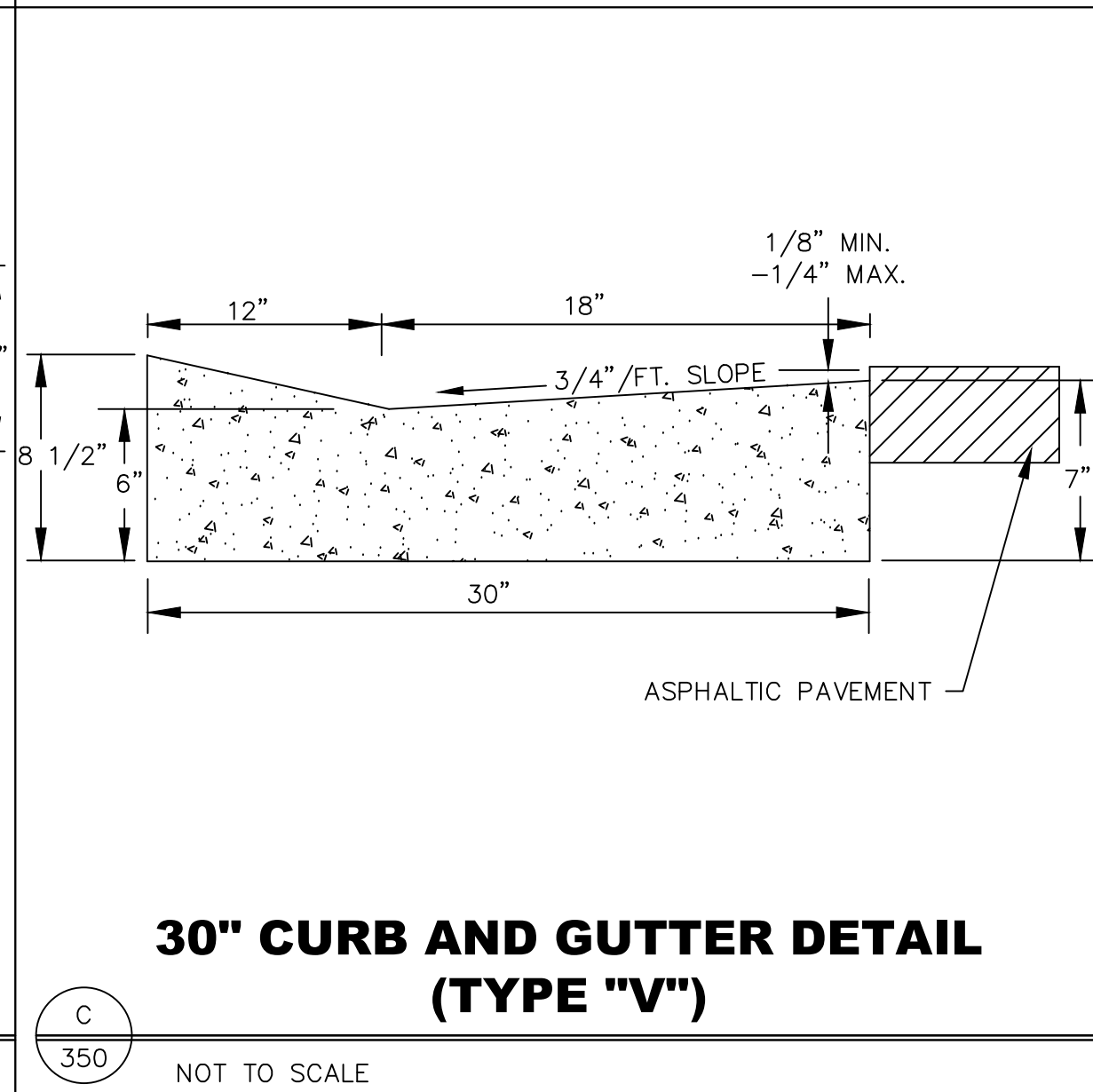
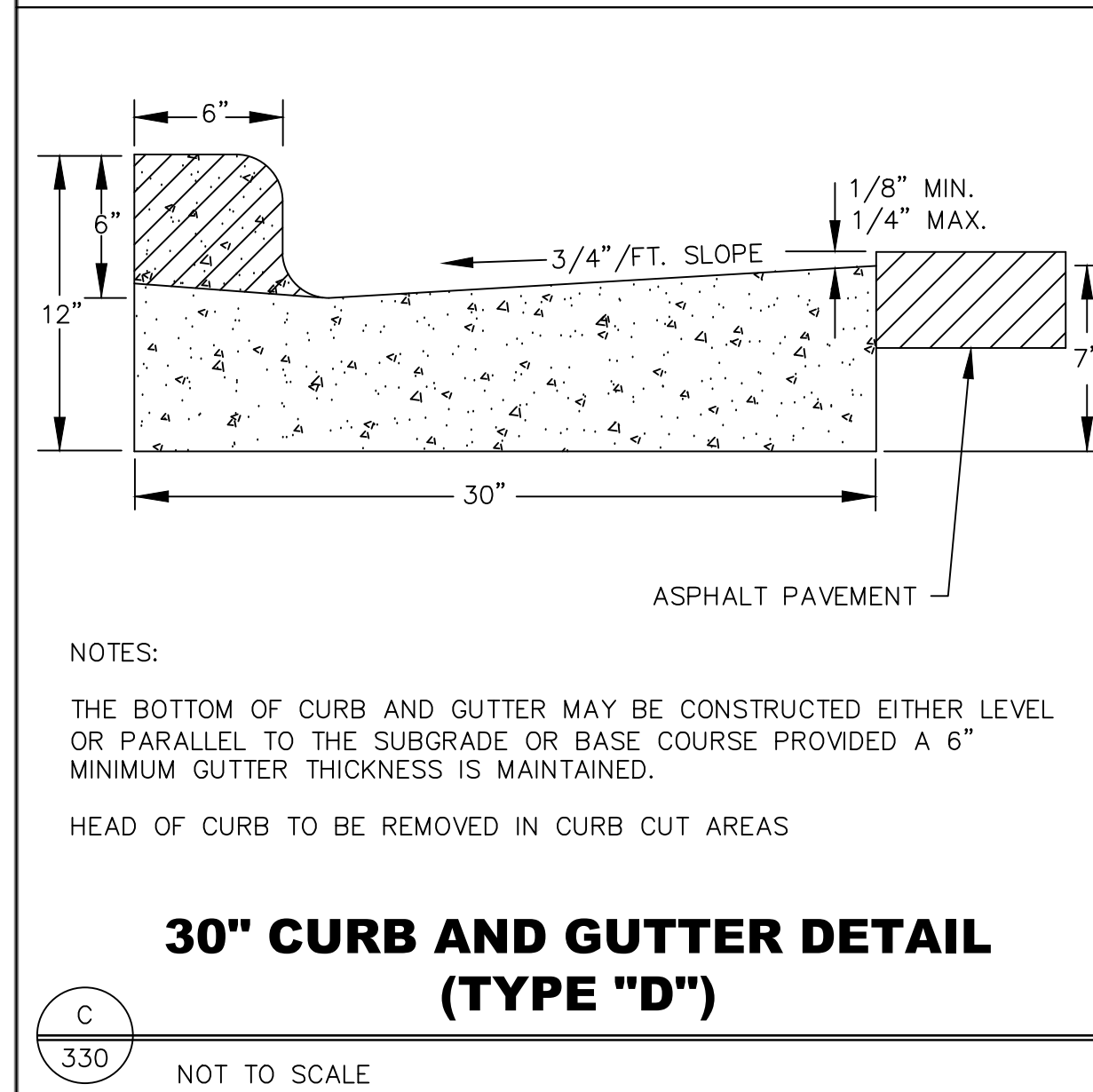
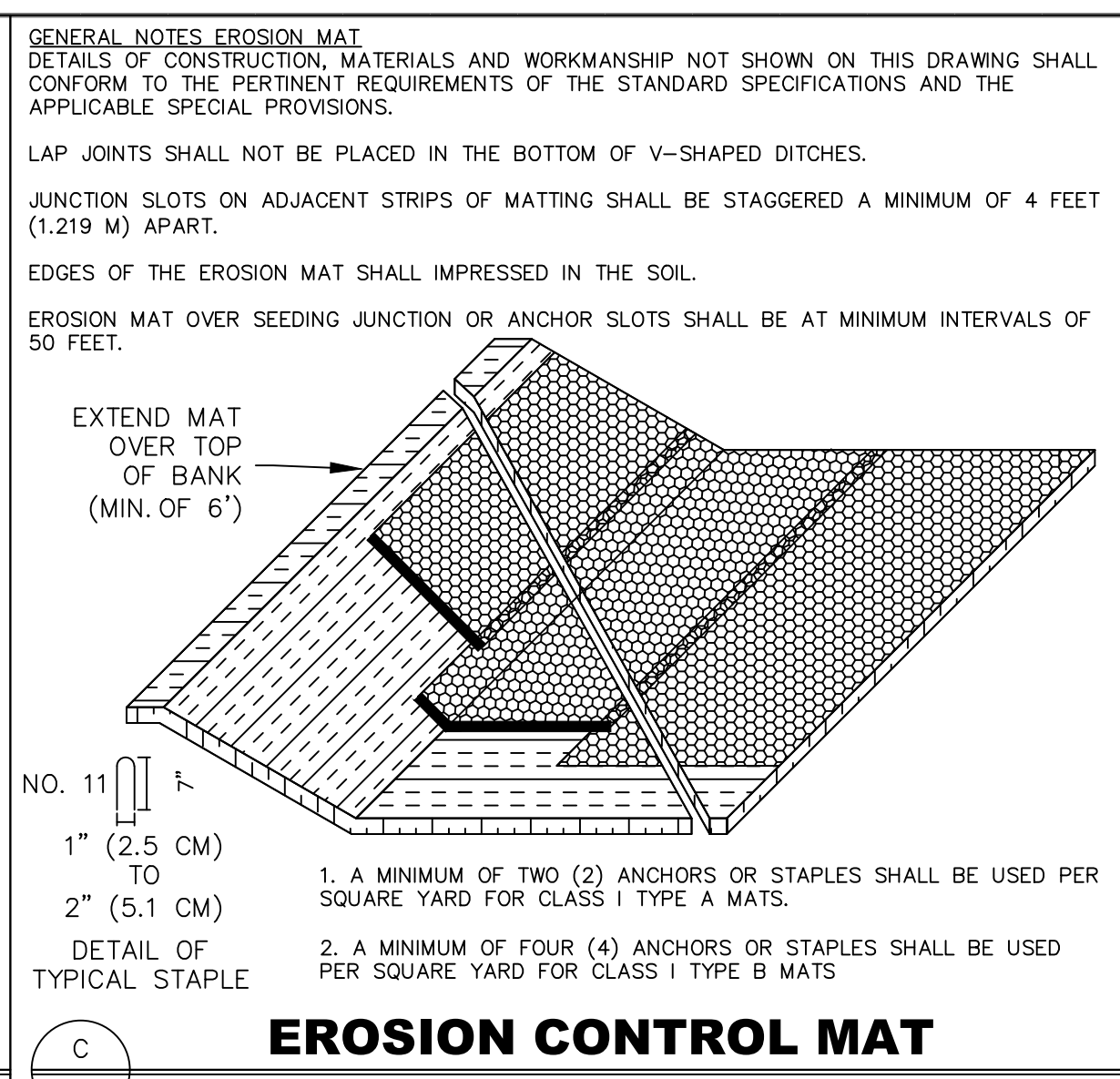
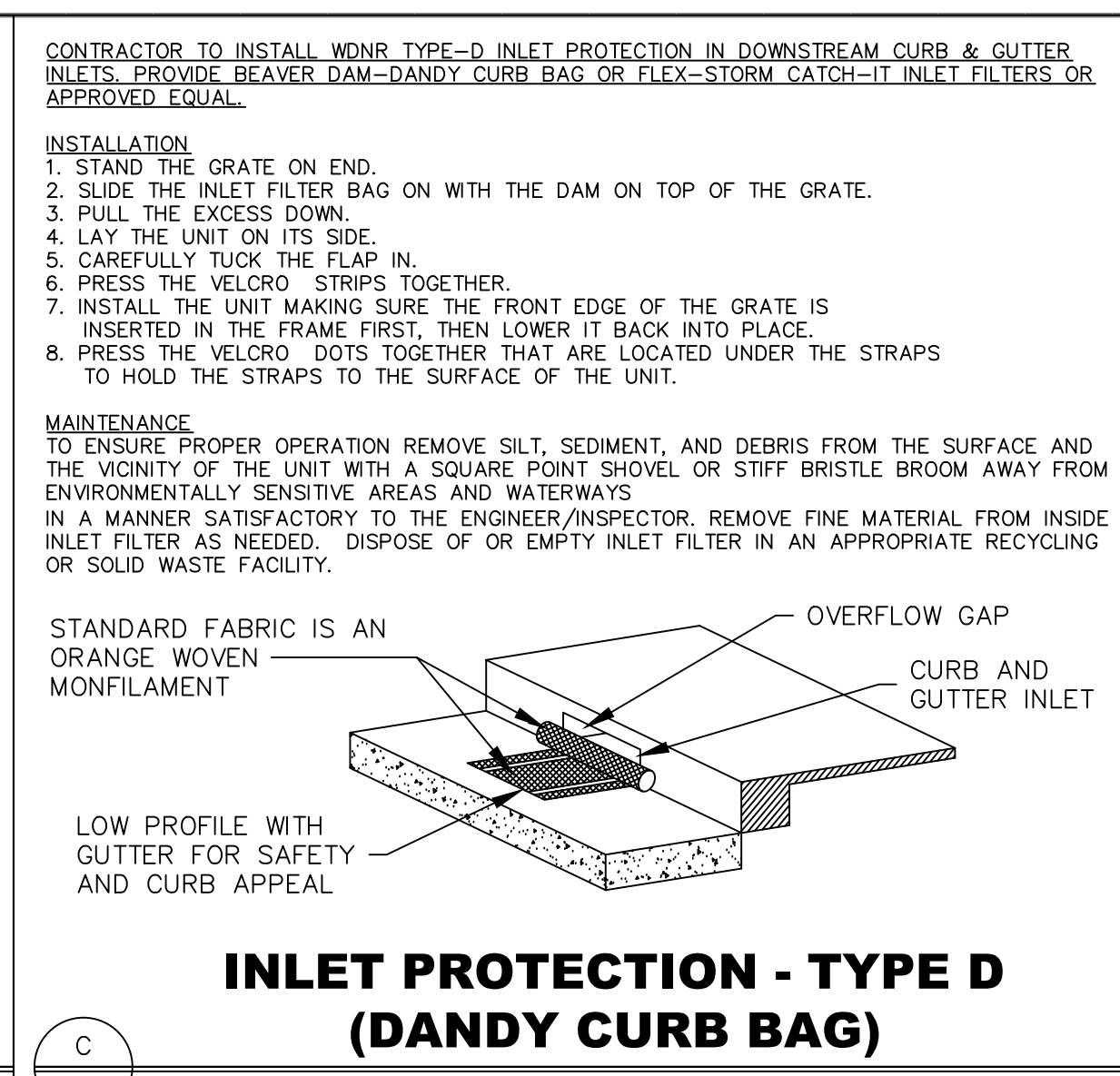
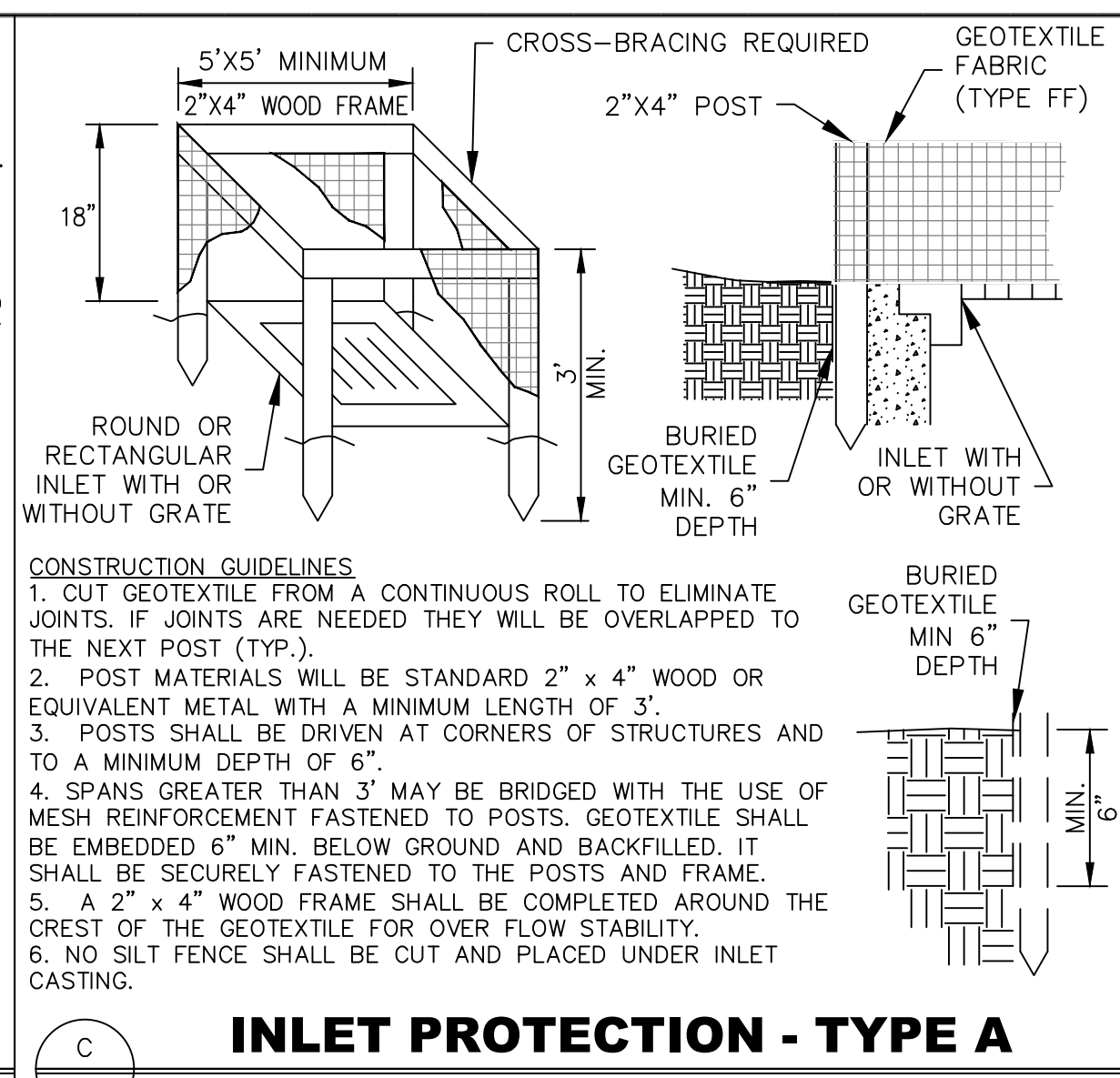
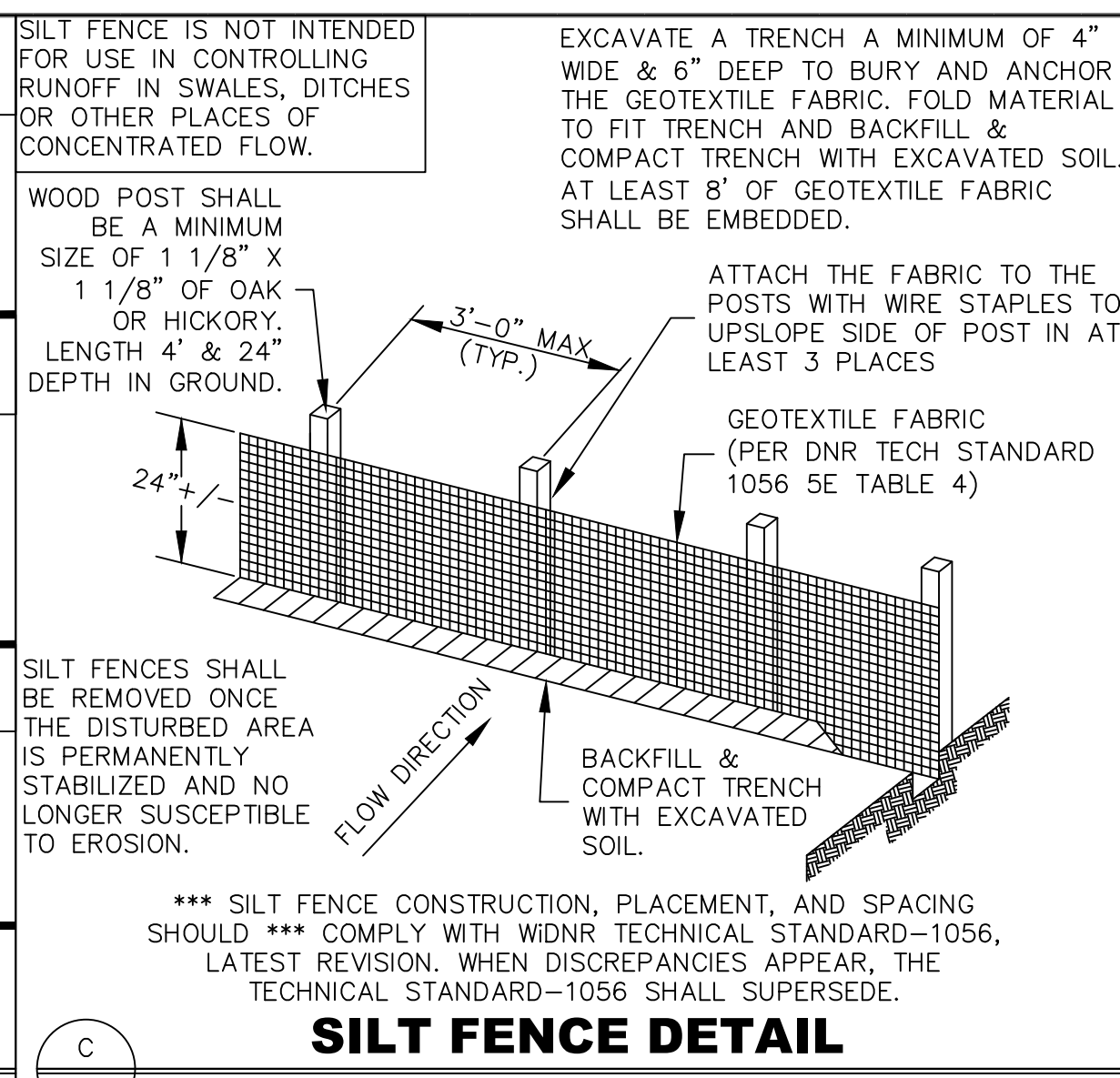
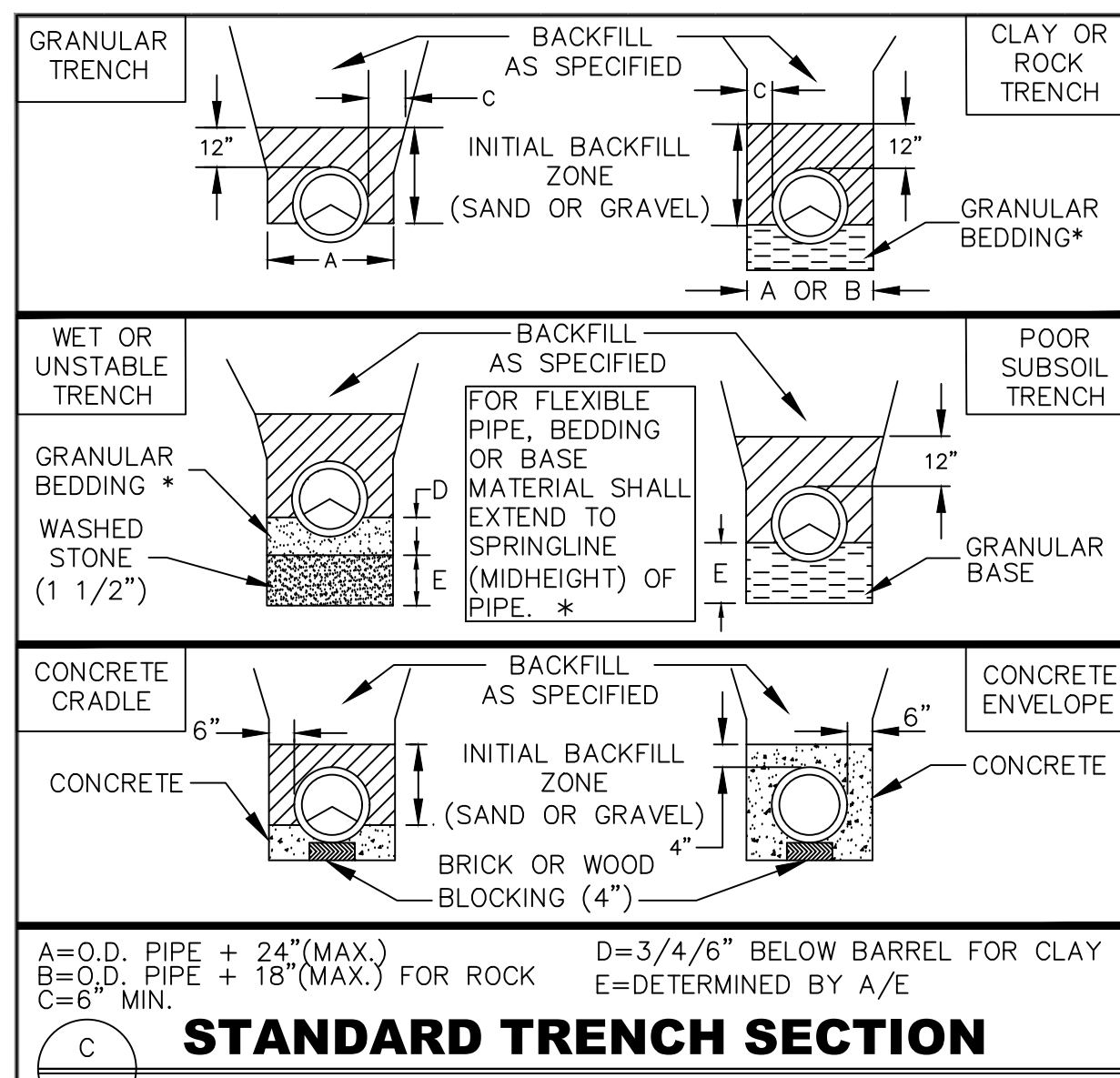
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EROSION CONTROL PLAN  
**C400**

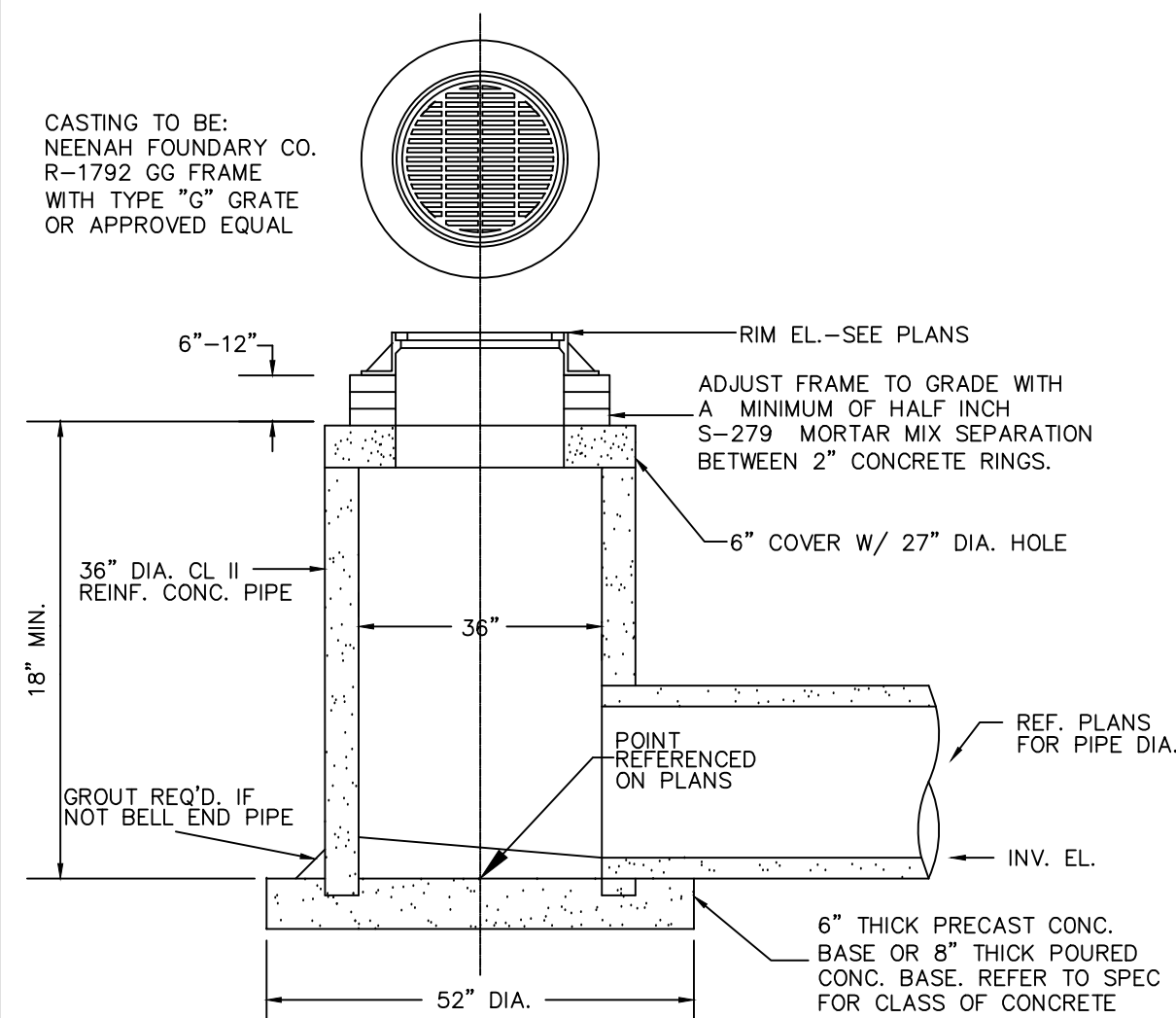




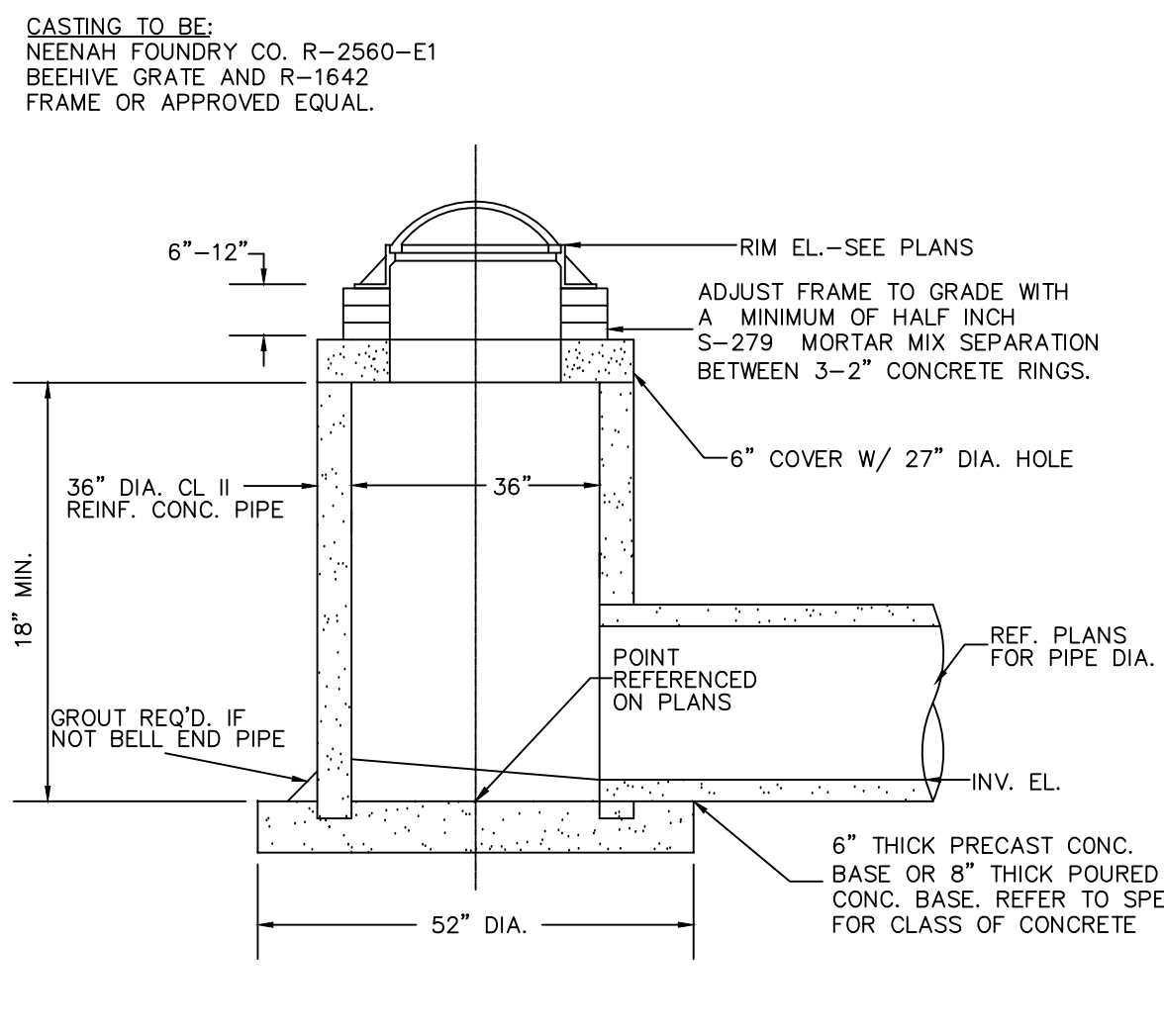


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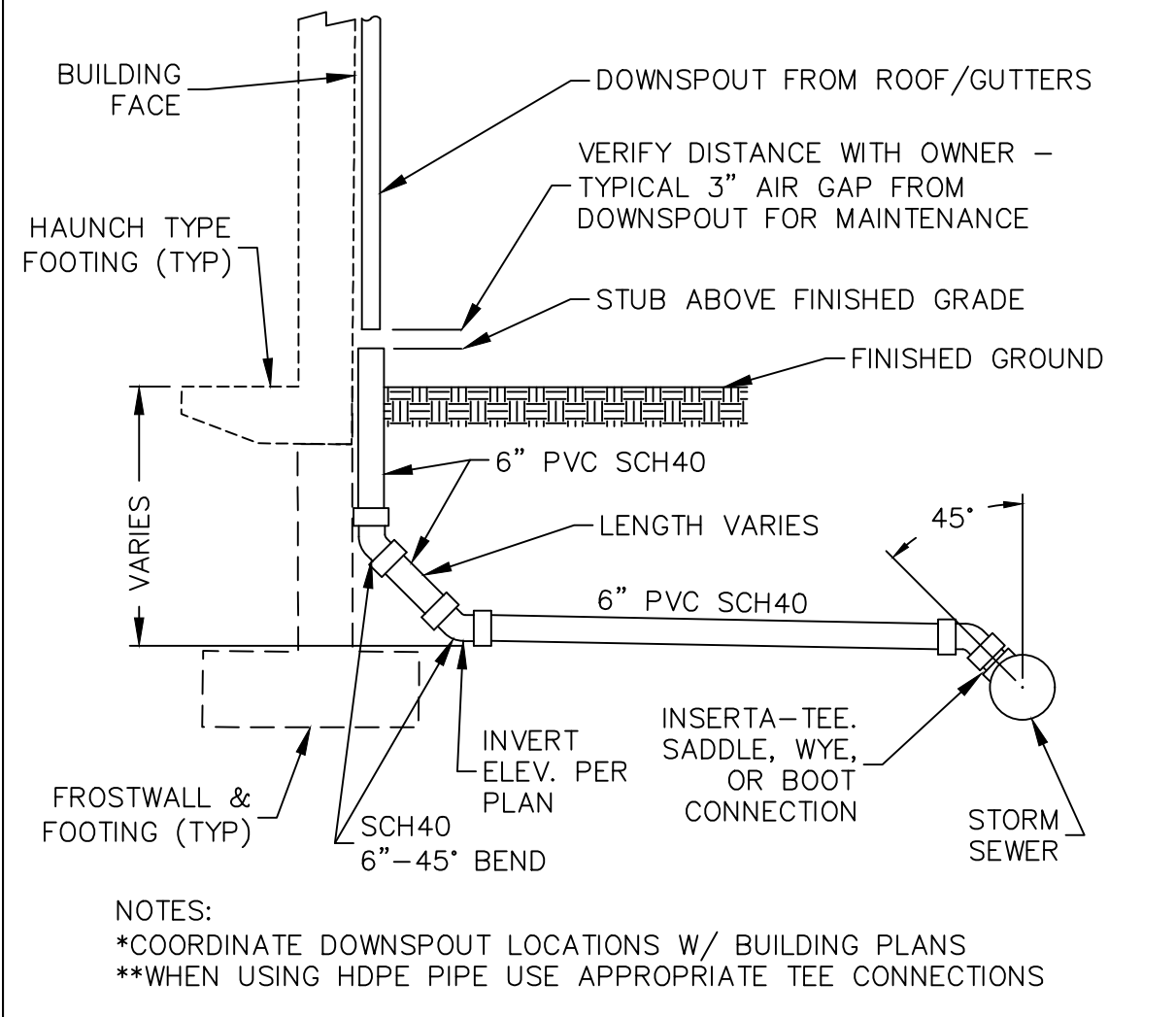
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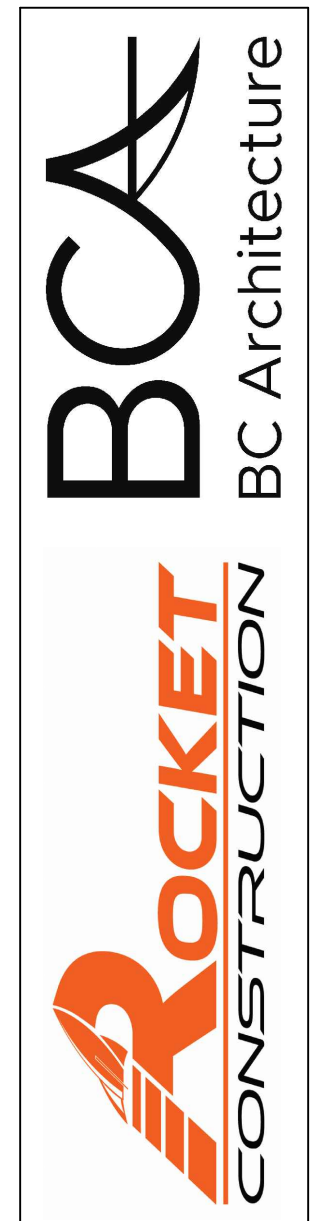
**AREA INLET (FLAT GRATE)**  
 SS 210 NOT TO SCALE



**36" AREA INLET (BEEHIVE GRATE)**  
 SS 213 NOT TO SCALE




**DOWNSPOUT COLLECTION DETAIL**  
 SS 500 NOT TO SCALE



DR. TARYN STITTLEBURG  
 STITTLEBURG RESTORATIVE HEALTH CARE  
 400 MAIN STREET, MARATHON CITY, WI 54448

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DETAILS  
**C701**

**ORDER GRANTING A CONDITIONAL USE PERMIT FOR  
ALEX AND DANA BLUME – “THE BLUME BARN”  
VILLAGE OF MARATHON CITY,  
MARATHON COUNTY, WISCONSIN**

**WHEREAS**, a complete application has been filed by ALEX AND DANA BLUME, (hereinafter “Applicant”) for the business/activity known as “THE BLUME BARN”, which is a Private Club/Reception Hall as a conditional use that will host special events, such as weddings and other celebratory events to the general public on property located at 225427 County Road B, Marathon City, WI; and

**WHEREAS**, the Applicant’s application and submitted documents consists of a completed and signed Conditional Use Permit Application dated May 6, 2026, a April 27, 2026 Petition for Annexation that depicts the Blume Barn building location on Subject Property; and

**WHEREAS**, Applicant represents and warrants that the application and materials submitted heretofore are true, accurate, and correct; are incorporated fully herein and shall be relied upon by the Village in its determination(s) herein; and

**WHEREAS**, the Applicant is the fee simple owner of that property located within the Village of Marathon City with a mailing address and Parcel ID as follows:

225427 County Road B  
Marathon City, WI 54448  
Parcel ID: 054-2806-181-0989 with a new Village PIN to be assigned by Marathon County for  
the May 6<sup>th</sup>, 2026 Village Board Approved Annexation filed.  
 (“Subject Property”)

**WHEREAS**, the Subject Property is zoned C-1 General Commercial pursuant to the Zoning Code of the Village; and

**WHEREAS**, pursuant to §13.5.10 and table 13-5 (A) of the Zoning Code, a Private Club and Reception Hall, hospitality (i.e. Hospitality, Accommodation & Food Services industry) is the equivalent of the “Blume Barn” activity that the Applicant proposes in its Application and is permitted as conditional accessory use in the C-1 General Commercial District use; and

**WHEREAS**, Applicant further intends to utilize the Subject Property for those permitted uses identified in the C-1 General Commercial District and as set forth in that Conditional Use Permit Application with the Village of Marathon City; and

**WHEREAS**, upon receipt of the completed application for a Conditional Use Permit and materials identified hereinabove, the Village Clerk properly referred the same to the Plan Commission of the Village of Marathon City for a public hearing and recommendation; and

**WHEREAS**, upon referral of the Conditional Use Permit application by the Village Clerk, the Plan Commission for the Village of Marathon City scheduled a public hearing thereon as soon as practical; and

**WHEREAS**, upon the necessary publication of the required notice of public hearing as required by §13.4.8(4) of the Zoning Code, the Plan Commission held a public hearing on the application on May 20, 2026; and

**WHEREAS**, the Plan Commission, following the public hearing and necessary study and investigation, having given the matter due consideration, and having based its recommendation on those factors set forth in §13.4.8(6) Zoning Code of the Village of Marathon City including the health, general welfare, safety and economic prosperity of the Village, as well as the Comprehensive Plan of the Village, recommended approval of the Conditional Use Permit with conditions; and

**WHEREAS**, the Village Board after review of the recommendation of the Plan Commission and after it also conducted the necessary study and investigation, having giving the matter due consideration, and basing its determination on the effects of those standards as set forth in §13.4.8(6) as well as §13.5.10 of the Zoning Code, and as long as the conditional use operates in strict compliance with the following conditions resolves, orders and finds that:

**IT IS THEREFORE, ORDERED AND RESOLVED AS FOLLOWS:**

Commencing upon the date hereof, a Conditional Use Permit for the Subject Property is hereby granted as set forth herein. The Conditional Use Permit granted herein shall apply only to the specific use of the Subject Property by Alex and Dana Blume, and the Conditional Use Permit shall continue and exist only so long as the Subject Property is operated in strict compliance with the terms of this Permit. This Conditional Use Permit is subject to initial and continued compliance with each and every one of the following conditions, restrictions, and limitations:

1. This Conditional Use Permit is granted to allow a Private Club and Reception Hall, hospitality (i.e. Hospitality, Accommodation & Food Services industry) as set forth in the application and related materials under the following conditions:
  - A. Applicant shall operate the private club and reception hall, hosting weddings and other privately scheduled special events to the general public under the name of “The Blume Barn”, all as set forth and in compliance with the application and documents submitted therewith.
  - B. Parking Restrictions: Parking of vehicles associated with the use conditionally permitted herein shall be prohibited along County Road B at all times. All parking associated with the use conditionally permitted herein, shall be confined entirely within the Subject Property boundaries and in designated and approved parking areas on the Subject Property. Parking areas needs to be designed according to 13.7.21 of the Zoning Code.

- C. Camper and Recreational Vehicle (collectively RV) Restrictions: Campers and recreational vehicles may be present on the Subject Property in association with scheduled events. All RV's shall be removed from the Subject Property within twenty-four (24) hours following the conclusion of the event for which the RV is present. No long-term or permanent occupancy of RVs shall be permitted on the Subject Property.
  - D. Lighting Restrictions: All exterior lighting shall be designed, installed, and maintained to prevent glare or light to trespass onto County Road B or adjacent properties. Lighting fixtures shall be fully shielded and directed downward toward the ground within the boundaries of the Subject Property to minimize off-site illumination and distractions.
  - E. Outdoor Music and Noise Restrictions: No amplified sound or music is permitted outside the enclosed (building) premises. Amplified sound or music is not permitted in the outdoor area. If amplified music is provided within the enclosed premises (barn or dance hall), after 10:00 p.m. Sunday through Thursday and after 11:00 p.m. Friday and Saturday, all doors and openings shall be closed to reduce noise traveling outside the enclosed building.
  - F. Sanitary Facilities (Bathroom): Adequate restroom facilities shall be provided on-site to accommodate the maximum number of attendees associated with each scheduled event. Such facilities shall be properly equipped, maintained, and serviced in accordance with applicable health and sanitation regulations.
  - G. Parcel Split / Subdivision Restriction: This Conditional Use Permit is granted based upon the current configuration of the Subject Property, consisting of approximately five (5) acres. In the event the parcel is subdivided, split, or otherwise altered in size or configuration, this Conditional Use Permit shall be subject to review and may be deemed null and void by the Village Board.
2. This Conditional Use Permit is granted solely and exclusively to the Applicant for only so long as it continues to own in fee simple the Subject Property. This Conditional Use Permit is not transferrable to any other person or entity without the prior approval of the Village.
  3. This Conditional Use Permit is conditioned upon the Applicant and the Subject Property being and remaining compliant with all other Village, County, State, and Federal laws, rules, and regulations. The Applicant shall apply for, receive, and file proof of such permission with the Village Administrator of all other required local, state, and federal permits before activities commence.
  4. The terms, conditions, and representations of the submittals by the Applicant for Conditional Use Permit dated May 6, 2026, are hereby incorporated herein and made a part of the conditions hereof to the extent not otherwise modified by the

requirements herein and to the extent so modified, the conditions set forth herein shall control.

5. The Applicant shall promptly reimburse the Village for all costs and expenses of any type that the Village incurs in connection with this Conditional Use Permit, including by way of enumeration without limitation, the cost of professional services incurred by the Village (including legal and other consulting fees) for review of and preparation of the Conditional Use Permit, attendance at meetings or other related professional services as well as for any actions the Village is required to take to enforce any of the conditions in this Conditional Use Permit due to a violation of these conditions by the Applicant.
6. Any use not specifically listed as permitted shall be considered to be prohibited except as maybe otherwise specifically provided herein. In case of a question as to the classification of use, the question shall be submitted to the Plan Commission for recommendation and Village Board for determination.
7. No use is hereby authorized unless the use is conducted in a lawful, orderly, and peaceful manner. Nothing in this Permit shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption, or exception to any law, ordinance, order, or rule by the Village, Marathon County, State of Wisconsin, United States, or other duly constituted authority, except only to the extent that it authorizes the use of the Subject Property in any specific respects described herein.
8. Should this permitted Conditional Use be abandoned or discontinued in any manner for twelve (12) months or greater or continued other than in strict conformity with the conditions of the original approval or should the Applicant be delinquent in payment of any monies due and owing to the Village, this Conditional Use shall be deemed terminated and therefore null and void.
9. Any change, addition, modification, alteration and/or amendment of any aspect of this Conditional Use, including but not limited to an addition, modification, alteration and/or amendment to the use, premises, structures, land or owners other than as specifically authorized herein, shall require a new permit and all procedures in place at the time must be followed.
10. Should any paragraphs or phrase of this Conditional Use Permit be determined by a court of competent jurisdiction to be unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the remainder of this Conditional Use and the remainder shall continue in full force and effect.
11. If any aspect of this Conditional Use Permit is in conflict with any other aspect of the Conditional Use Permit, the more restrictive provision shall be controlling as determined by the Village Board.

12. Copies of this Order shall be filed in the permanent records of the Village Board for the Village of Marathon City and copies sent to the proper authorities as well as the Applicant.

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

VILLAGE BOARD, VILLAGE OF MARATHON CITY

By: \_\_\_\_\_  
Kurt Handrick, Village President

Attest: \_\_\_\_\_  
Cassandra Lang, Village Clerk

Approval/Acceptance of Applicant dated this \_\_\_ day of \_\_\_\_\_, 2026.

ALEX AND DANA BLUME, for "THE BLUME BARN"  
Applicant:

By: \_\_\_\_\_  
Alex Blume

Its: \_\_\_\_\_  
Dana Blume